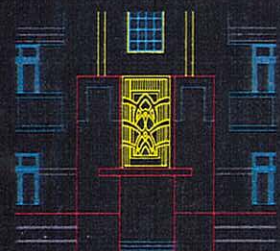
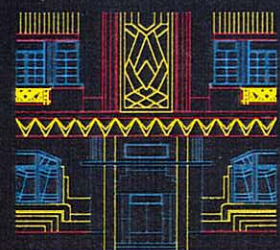
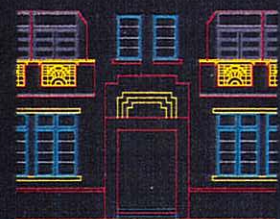
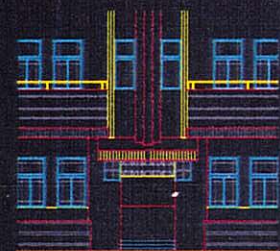
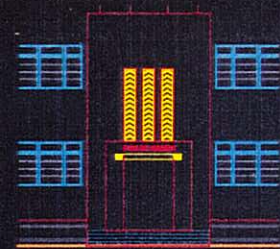


STUDY, RESEARCH AND DOCUMENTATION OF
MARINE DRIVE PRECINCT FOR MUMBAI METROPOLITAN REGION
HERITAGE CONSERVATION SOCIETY

STUDY CONDUCTED BY RIZVI COLLEGE OF ARCHITECTURE
CONSULTANCY CELL

MARCH 2001





STUDY, RESEARCH AND DOCUMENTATION OF
MARINE DRIVE PRECINCT FOR MUMBAI METROPOLITAN REGION
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CONSULTANCY CELL

rd
STAGE
REPORT

PART 2

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Introduction

The report is laid out as follows:

Information and Introduction in Chapter One & Two

Objectives and Stages of work is stated in Chapter Three

Methodology is established in the fourth chapter

Intentions are recapitulated in the fifth chapter.

Documentation is presented in the sixth chapter.

Analysis and Derivations are prepared for in the seventh chapter.

The final chapter discusses and presents the development control guidelines

The first two chapters describe the origin of Art deco movement followed by the growth and development of the Art Deco architecture in Mumbai City

The fourth highlights the process and the working structure of the research followed by the fifth chapter examining the statement and compilation of the researched data. Architectural documentation is furnished in the sixth chapter

The seventh chapter works on an analytical matrix, which scrutinises interrelation of the surveys undertaken and derives inferences from it.

Architectural and Development Control guidelines specific to Marine Drive Precinct is presented in the final chapter.

In order to make the deliberations more lucid, it was essential to augment the Survey Matrix Analysis and Guidelines to the surveys undertaken in the second stage of the study (sections repeated have been indicated with asterisk in the contents page).

Here I wish particularly to mention and express thanks to the following list of team members, students and consultants associated with this project.

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It seemed natural, with so many of us involved, to write in the first person plural, a style with which I think most architects and planners anyhow feel happier, and this we do from now on.

Akhtar Chauhan

Principal Rizvi College of Architecture

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7

SURVEY
MATRIX

7.0 Survey Matrix : Analysis and Deductions

7.1.1 The information in the survey correlates establishing specific conclusions and resolution to identified issues.

7.1.2 The common base for all the survey is devised by a matrix, a chart combining most of the survey data on built up area tabulation.
(Refer charts A to H)

7.1.3 As a case in point it is observed that there exists a strong correlation between pattern of change in the condition of building vis a vis change in the form of ownership.

7.1.4 The proportion of good to fair and fair buildings is much greater in the case of tenancies converted to co-operative housing societies.
(refer adjoining pie charts)
Similar patterns can also be observed in comparisons between the following
use of buildings and condition of buildings
age of buildings and condition of building
value classification and ownership of buildings

7.1.5 These correlation's are pointers towards a sustainable and accepted decision making processes which could positively be part of the guidelines.



3D construction
RCACC 1999/2000

BLDG DENOM	BLDG TOPO	GROUND COVERAGE (sq. mts)	TOTAL BUILT UP (sq. mts)	OWNERSHIP	FLOOR DIV	FLOOR AREA (sq. mts)	BUILT UP (sq. mts)	BLDG USE	VALUE	BLDG CONDITION	AGE	ART DECO	CESS BLDG
1	6	764.80	4588.82	CENT GOVT	6	764.80	4588.82	GOVT.HOUSING	B	FAIR	1940-49	ART DECO	CESS
2	7	854.83	5983.82	CO-OP SOC	7	854.83	5983.82	RESIDENTIAL	C	GOOD - FAIR	1950-59		
3	7	944.99	6614.90	CO-OP SOC	3	944.99	2834.96	COMMERCIAL	B	GOOD - FAIR	1930-39	ART DECO	
				CO-OP SOC	4	944.99	3779.95	RESIDENTIAL	B	GOOD - FAIR	1950-59	ART DECO	
4	6	796.30	4777.77	TENANT	0.35	796.30	278.70	COMMERCIAL	B	POOR	1940-49	ART DECO	CESS
				TENANT	5.65	796.30	4499.07	RESIDENTIAL	B	POOR	1940-49	ART DECO	
5	7	1887.54	13212.81	SEMI-GOVT	7	1887.54	13212.81	COMMERCIAL	C	GOOD - FAIR	1950-59		
6	1	1333.67	1333.67	STATE-GOVT	1	1333.67	1333.67	INSTITUTIONAL	C	FAIR	1950-59		
7	1	152.16	152.16	STATE-GOVT	1	152.16	152.16				1950-59		
8	8	7236.47	57891.72	STATE-GOVT	8	7236.47	57891.72	INSTITUTIONAL	A	GOOD	1950-59	AD & SIG	
9	7	586.44	4105.08	TENANT	7	586.44	4105.08	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
10	7	411.21	2878.49	CO-OP SOC	0.5	411.21	205.61	COMMERCIAL	B	FAIR	1930-39	ART DECO	
				CO-OP SOC	6.5	411.21	2672.88	RESIDENTIAL	B	FAIR	1930-39	ART DECO	
11	8	466.55	3732.43	TENANT	8	466.55	3732.43	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
12	6	610.81	3664.89	CO-OP SOC	6	610.81	3664.89	RESIDENTIAL	B	FAIR	1940-49	ART DECO	
13	7	545.54	3818.79	CO-OP SOC	7	545.54	3818.79	RESIDENTIAL	B	FAIR	1940-49	ART DECO	
14	8	451.67	3613.36	CO-OP SOC	0.5	451.67	225.83	COMMERCIAL	C	FAIR	1950-59		CESS
				CO-OP SOC	7.5	451.67	3387.52	RESIDENTIAL	C	FAIR	1950-59		CESS
15	7	643.07	4501.49	CO-OP SOC	7	643.07	4501.49	RESIDENTIAL	B	FAIR	1930-39	ART DECO	
15 a	7	643.07	4501.49	TENANT	7	643.07	4501.49	RESIDENTIAL	B	FAIR	1940-49	ART DECO	CESS
16	7	817.39	5721.76	TENANT	1	817.39	817.39	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				TENANT	6	817.39	4904.37	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
17	7	511.65	3581.52	TENANT	7	511.65	3581.52	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
18	7	550.88	3856.13	SEMI-GOVT	1	550.88	550.88	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				SEMI-GOVT	6	550.88	3305.26	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
19	7	483.89	3387.25	SEMI-GOVT	7	483.89	3387.25	RESIDENTIAL	B	EXT - POOR	1930-39	ART DECO	CESS
20	6	595.78	3674.69	CO-OP SOC	1	595.78	595.78	COMMERCIAL	A	GOOD - FAIR	1930-39	AD & SIG	
				CO-OP SOC	6	595.78	2978.91	RESIDENTIAL	A	GOOD - FAIR	1930-39	AD & SIG	
21	7	583.89	4087.26	CO-OP SOC	7	583.89	4087.26	RESIDENTIAL	A	GOOD - FAIR	1930-39	AD & SIG	
22	7	907.94	6355.58	TENANT	7	907.94	6355.58	RESIDENTIAL	A	GOOD	1930-39	AD & SIG	CESS
23	6	746.93	4481.56	CO-OP SOC	6	746.93	4481.56	RESIDENTIAL	B	GOOD - FAIR	1950-59	ART DECO	CESS
24	6	802.78	4816.68	TRUST	6	802.78	4816.68	COMMERCIAL	C	FAIR	1950-59		
25	7	724.60	5072.17	CO-OP SOC	7	724.60	5072.17	RESIDENTIAL	B	FAIR	1960-69	ART DECO	
26	7	1991.49	13940.42	SEMI-GOVT	7	1991.49	13940.42	COMMERCIAL	C	GOOD - FAIR			
27	7	820.92	5746.41	CO-OP SOC	2	820.92	1641.83	COMMERCIAL	D	FAIR	1950-59		
				CO-OP SOC	5	820.92	4104.58	RESIDENTIAL	D	FAIR	1950-59		
28	6	665.51	3993.05	TENANT	6	665.51	3993.05	COMMERCIAL	B	FAIR	1940-49	ART DECO	CESS
29	9	578.13	5203.13		9	578.13	5203.13				1990-2000		
29 b	9	578.13	5203.13		9	578.13	5203.13				1990-2000		
29 a	4	508.35	2033.42	SEMI-GOVT	4	508.35	2033.42	UTILITIES	E	POOR	1990-2000		
30	1	784.57	784.57	STATE-GOVT	1	784.57	784.57	UTILITIES	C	FAIR	1970-79		
30 a	1	384.60	384.60	STATE-GOVT	1	384.60	384.60	INSTITUTIONAL	C	FAIR	1970-79		
30 b	1	418.27	418.27	STATE-GOVT	1	418.27	418.27	INSTITUTIONAL	C	FAIR	1970-79		
30 c	1	443.87	443.87	STATE-GOVT	1	443.87	443.87	INSTITUTIONAL	C	FAIR	1970-79		
31	6	1424.72	8548.34	TENANT	6	1424.72	8548.34	COMMERCIAL	A	FAIR	1940-49	AD & SIG	CESS
32	6	875.07	5250.39	OWNERSHIP	6	875.07	5250.39	COMMERCIAL	D	GOOD - FAIR	1940-49		
33	7	893.49	4784.41	CO-OP SOC	7	893.49	4784.41	RESIDENTIAL	D	FAIR	1940-49		CESS
34	7	690.76	4415.29	CO-OP SOC	7	690.76	4415.29	RESIDENTIAL	D	POOR	1940-49		
35	7	1726.92	12097.79	TRUST	7	1726.92	12097.79	RESIDENTIAL	D	FAIR	1950-59		
36	7	1445.36	10117.51	SEMI-GOVT	7	1445.36	10117.51	GOVT.HOUSING	D	FAIR - POOR	1960-69		
37	7	858.28	6007.99	TENANT	1.5	858.28	1287.43	COMMERCIAL	B	FAIR - POOR	1940-49	ART DECO	CESS
				TENANT	5.5	858.28	4720.56	RESIDENTIAL	B	FAIR - POOR	1940-49		
38	7	898.38	6288.66	OWNERSHIP	7	898.38	6288.66	COMMERCIAL	D	GOOD - FAIR	1950-59		
39	2	160.92	321.84	OWNERSHIP	2	160.92	321.84	COMMERCIAL	D	FAIR	1970-79		
40	7	608.93	4262.51	CENT-GOVT	7	608.93	4262.51	GOVT.HOUSING	D	GOOD - FAIR	1950-59		
41	7	743.06	5201.33	OWNERSHIP	7	743.06	5201.33	COMMERCIAL	A	FAIR - POOR	1950-59	AD & SIG	
42	7	1975.89	13831.24	TENANT	7	1975.89	13831.24	INSTITUTIONAL	C	FAIR	1970-79		
43	8	665.20	5321.60	OWNERSHIP	8	665.20	5321.60	COMMERCIAL	B	GOOD - FAIR	1950-59	ART DECO	
44	8	671.74	5373.91	OWNERSHIP	8	671.74	5373.91	COMMERCIAL	B	GOOD - FAIR	1950-59	ART DECO	
45	6	968.28	5809.70	STATE-GOVT	6	968.28	5809.70	INSTITUTIONAL	C	POOR	1970-79		
46	7	554.28	3879.96	TENANT	1	554.28	554.28	COMMERCIAL	A	POOR	1940-49	AD & SIG	CESS
				TENANT	6	554.28	3325.68	RESIDENTIAL	A	POOR	1940-49	AD & SIG	CESS
47	7	777.21	5440.49	SEMI-GOVT	7	777.21	5440.49	COMMERCIAL	D	GOOD - FAIR	1920-29		
48	7	777.49	5442.40	TENANT	7	777.49	5442.40	COMMERCIAL	B	FAIR	1930-39		
48 a	6	678.70	4072.20	TRUST	6	678.70	4072.20	INSTITUTIONAL	D	FAIR	1960-69		
49	6	778.88	4673.30	OWNERSHIP	6	778.88	4673.30	COMMERCIAL	D	FAIR	1930-39		
50	7	1821.98	12753.85	STATE-GOVT	7	1821.98	12753.85	INSTITUTIONAL	C	FAIR	1950-59		

Survey Matrix A

BLDG DENOM	BLDG TOPO	GROUND COVERAGE (sq. mts)	TOTAL BUILTUP (sq. mts)	OWNERSHIP	FLOOR DIV	FLOOR AREA (sq. mts)	BUILTUP AREA (sq. mts)	BLDG USE	VALUE	BLDG CONDITION	AGE	ART DECO	CESS BLDG
51	7	894.33	6280.32	TRUST	7	894.33	6280.32	INSTITUTIONAL	D	FAIR	1960-69		
52	7	2121.58	14851.09	OWNERSHIP	7	2121.58	14851.09	COMMERCIAL	D	GOOD - FAIR	1970-79		
53	8	1022.44	8179.55	OWNERSHIP	8	1022.44	8179.55	COMMERCIAL	D	FAIR	1970-79		
54	7	895.99	6271.92	TENANT	7	895.99	6271.92	RESIDENTIAL	B	FAIR	1940-49	ART DECO	CESS
55	6	921.09	5526.56	TENANT	6	921.09	5526.56	RESIDENTIAL	A	GOOD - FAIR	1940-49	AD & SIG	CESS
56	6	782.42	4694.54	OWNERSHIP	6	782.42	4694.54	COMMERCIAL	B	GOOD - FAIR	1930-39	ART DECO	CESS
57	6	817.35	4904.12	CO-OP SOC	0.35	817.35	286.07	COMMERCIAL	A	GOOD - FAIR	1940-49	AD & SIG	
				CO-OP SOC	5.65	817.35	4618.05	RESIDENTIAL	A	GOOD - FAIR	1940-49	AD & SIG	
58	6	1049.09	8392.73	TENANT	4	1049.09	4196.36	COMMERCIAL	B	FAIR	1940-49	ART DECO	CESS
				TENANT	4	1049.09	4196.36	RESIDENTIAL	B	FAIR	1940-49	ART DECO	CESS
59	7	930.85	6515.96	CO-OP SOC	2	930.85	1861.70	COMMERCIAL	B	FAIR	1950-59	ART DECO	CESS
				CO-OP SOC	5	930.85	4654.26	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
60	4	12932.50	51729.96	TRUST	1.5	10778.84	16169.76	RECREATIONAL	D	FAIR	1930-39		
				TRUST	4	2152.69	8610.63	INSTITUTIONAL	D	FAIR	1930-39		
60 a	4	931.44	3725.77	TRUST	4	931.44	3725.77	INSTITUTIONAL	B	FAIR	1930-39	ART DECO	
60 b	2	750.95	1501.91	TRUST	2	750.95	1501.91	INSTITUTIONAL	D	FAIR	1970-79		
61	7	1053.40	7373.77	TENANT	6	1053.40	6320.37	RESIDENTIAL	A	FAIR - POOR	1940-49	AD & SIG	
				SEMI-GOVT	1	1053.40	1053.40	RESIDENTIAL	A	FAIR - POOR	1940-49	AD & SIG	
62	7	752.77	5269.41	CO-OP SOC	5.5	752.77	4140.25	COMMERCIAL	A	FAIR	1950-59	AD & SIG	
				CO-OP SOC	1.5	752.77	1129.16	RESIDENTIAL	A	FAIR	1950-59	AD & SIG	
63	6	788.01	4728.07	TENANT	6	788.01	4728.07	RESIDENTIAL	B	POOR	1930-39	ART DECO	
64	6	705.35	4232.08	OWNERSHIP	6	705.35	4232.08	RESIDENTIAL	B	GOOD - FAIR	1950-59	ART DECO	
65	6	2020.49	12122.94	TENANT	3	2020.49	6061.47	COMMERCIAL	A	FAIR	1940-49	AD & SIG	CESS
				SEMI-GOVT	3	2020.49	6061.47	RESIDENTIAL	A	FAIR	1940-49	AD & SIG	CESS
66	6	758.60	4551.62	TENANT	1	758.60	758.60	COMMERCIAL	B	FAIR	1940-49	ART DECO	CESS
				TENANT	5	758.60	3793.01	RESIDENTIAL	B	FAIR	1940-49	ART DECO	CESS
67	7	713.61	4995.29	SEMI-GOVT	7	713.61	4995.29	RESIDENTIAL	D	FAIR	1930-39		
68	6	729.05	4374.30	TENANT	1	729.05	729.05	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				TENANT	5	729.05	3645.25	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
68 a	7	976.87	6836.72	TRUST	7	976.87	6836.72	RESIDENTIAL	B	POOR	1930-39	ART DECO	
69	7	597.84	4184.91	TENANT	3.5	597.84	2092.46	COMMERCIAL	A	POOR	1930-39	AD & SIG	CESS
				TENANT	3.5	597.84	2092.46	RESIDENTIAL	A	POOR	1930-39	AD & SIG	CESS
70	7	518.41	3628.85	TENANT	2.5	518.41	1296.02	COMMERCIAL	B	FAIR - POOR	1940-49	AD & SIG	CESS
				TENANT	4.5	518.41	2332.83	RESIDENTIAL	B	FAIR - POOR	1940-49	ART DECO	CESS
71	8	694.50	5556.04	TENANT	4.1	694.50	2847.47	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				TENANT	3.9	694.50	2708.57	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
72	6	605.97	3635.81	CENT GOVT	6	605.97	3635.81	GOVT HOUSING	B	POOR	1950-59	ART DECO	CESS
73	16	689.60	7585.62	OWNERSHIP	16	689.60	7585.62	RESIDENTIAL	A	FAIR - POOR	1970-79	SIGNIFICANT	
74	7	643.51	4504.56	CO-OP SOC	1.35	643.51	888.74	COMMERCIAL	C	FAIR	1950-59		
				CO-OP SOC	5.65	643.51	3636.84	RESIDENTIAL	C	FAIR	1950-59		
75	7	967.71	4673.97	TENANT	4	967.71	2970.84	COMMERCIAL	A	GOOD - FAIR	1940-49	AD & SIG	CESS
				TENANT	3	967.71	2003.13	RESIDENTIAL	A	GOOD - FAIR	1940-49	AD & SIG	CESS
76	7	639.07	4473.50	CO-OP SOC	6.5	639.07	4153.96	RESIDENTIAL	B	FAIR	1930-39	ART DECO	
				CO-OP SOC	0.5	639.07	319.54	INSTITUTIONAL	B	FAIR	1930-39	ART DECO	
77	7	835.82	4450.74	TENANT	5	835.82	3179.10	COMMERCIAL	B	FAIR	1930-39	ART DECO	CESS
				TENANT	2	635.82	1271.64	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
78	7	528.84	3701.87	CO-OP SOC	7	528.84	3701.87	RESIDENTIAL	B	FAIR	1950-59	ART DECO	
79	7	676.38	4734.69	TENANT	3	676.38	2029.16	COMMERCIAL	B	POOR	1940-49	ART DECO	CESS
				TENANT	4	676.38	2705.54	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
80	7	614.71	4302.94	CO-OP SOC	7	614.71	4302.94	RESIDENTIAL	C	POOR	1940-49		
81	7	653.42	4573.97	TENANT	3	653.42	1960.27	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				TENANT	4	653.42	2613.70	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
82	7	600.14	4291.01	CO-OP SOC	6	600.14	3609.87	RESIDENTIAL	B	FAIR	1960-69	ART DECO	
				CO-OP SOC	1	600.14	600.14	INSTITUTIONAL	B	FAIR	1960-69	ART DECO	
83	8	424.15	3393.21	SEMI-GOVT	6	424.15	2544.90	COMMERCIAL	A	FAIR	1950-59	AD & SIG	
				SEMI-GOVT	2	424.15	848.30	INSTITUTIONAL	A	FAIR	1950-59	AD & SIG	
84	7	406.67	2846.69	CO-OP SOC	0.5	406.67	203.33	COMMERCIAL	B	FAIR	1960-69	ART DECO	
				CO-OP SOC	6.5	406.67	2643.36	RESIDENTIAL	B	FAIR	1960-69	ART DECO	
85	5	629.77	3148.83	OWNERSHIP	5	629.77	3148.83	COMMERCIAL	A	GOOD - FAIR	1950-59	AD & SIG	
86	7	403.42	2823.94	TENANT	7	403.42	2823.94	COMMERCIAL	C	FAIR	1950-59		
87	4	4807.38	19229.46	CENT GOVT	4	4807.38	19229.46	INSTITUTIONAL	A	GOOD - FAIR	BEFORE 1900	SIGNIFICANT	
87 a	3	927.57	2782.72	CENT GOVT	3	927.57	2782.72	INSTITUTIONAL	E	GOOD - FAIR	1950-59		
88	9	3491.20	31420.81	CENT GOVT	9	3491.20	31420.81	INSTITUTIONAL	C	FAIR - POOR	1950-59		
88 a	4	7387.87	14775.73	CENT GOVT	4	7387.87	14775.73	INSTITUTIONAL	C	FAIR - POOR	1970-79		
89	6	609.52	3657.09	OWNERSHIP	6	609.52	3657.09	RESIDENTIAL	B	FAIR - POOR	1950-59	ART DECO	CESS
90	6	574.12	3444.74	CO-OP SOC	6	574.12	3444.74	RESIDENTIAL	B	FAIR	1950-59	ART DECO	
91	5	1401.65	7008.23	TRUST	6	1401.65	7008.23	INSTITUTIONAL	C	FAIR	1950-59		
92	7	585.97	4101.78	CO-OP SOC	7	585.97	4101.78	RESIDENTIAL	B	FAIR	1950-59	ART DECO	
93	7	492.38	3446.64	CO-OP SOC	7	492.38	3446.64	RESIDENTIAL	C	GOOD - FAIR			
93 a	11	665.92	7325.06	STATE-GOVT	0.25	665.92	168.48	COMMERCIAL	E	GOOD - FAIR	1970-79		
				STATE-GOVT	10.75	665.92	7158.60	RESIDENTIAL	E	GOOD - FAIR	1970-79		
94	5	1060.01	5300.04	CENT GOVT	5	1060.01	5300.04	INSTITUTIONAL	B	FAIR	1940-49	ART DECO	
95	6	632.76	3796.55	CO-OP SOC	6	632.76	3796.55	RESIDENTIAL	C	FAIR	1950-59		
96	6	600.19	3601.11	CO-OP SOC	6	600.19	3601.11	RESIDENTIAL	C	FAIR	1950-59		
97	6	632.12	3792.72	CENT GOVT	6	632.12	3792.72	RESIDENTIAL	C	FAIR	1950-59		
98	4	583.76	2335.06	TRUST	4	583.76	2335.06	INSTITUTIONAL	D	FAIR	1950-59		
99	7	568.87	3992.06	CO-OP SOC	7	568.87	3992.06	RESIDENTIAL	D	FAIR - POOR	1950-59	ART DECO	
100	7	475.12	3325.82	STATE-GOVT	7	475.12	3325.82	GOVT HOUSING	D	POOR	1950-59		
101	6	676.58	4059.49	TENANT	6	676.58	4059.49	RESIDENTIAL	B	POOR	1950-59	ART DECO	CESS

Survey Matrix B

BLDG NO	BLDG TOPO	GROUND COVERAGE (sq. mts)	TOTAL BUILTUP (sq. mts)	OWNERSHIP	FLOOR DIV	FLOOR COVERAGE (sq. mts)	BUILTUP (sq. mts)	BLDG USE	VALUE	BLDG CONDITION	AGE	ART DECO	CESS BLDG
102	6	681.91	4091.45	CO-OP SOC	6	681.91	4091.45	RESIDENTIAL	C	FAIR - POOR	1950-59		
103	5	779.05	3895.25	STATE-GOVT	5	779.05	3895.25	INSTITUTIONAL	D	POOR	1950-59		
104	4	2087.36	8349.52	STATE-GOVT	4	2087.36	8349.52	INSTITUTIONAL	B	GOOD - FAIR	1950-59		
105	7	712.43	4987.04	STATE-GOVT	7	712.43	4987.04	GOVT HOUSING	B	POOR	1950-59	ART DECO	
106	7	1487.76	10414.94	STATE-GOVT	7	1487.76	10414.94	INSTITUTIONAL	C	FAIR	1960-69		
107	6	597.99	3587.91	STATE-GOVT	6	597.99	3587.91	INSTITUTIONAL	C	POOR	1950-59		
108	6	675.93	4055.57	CO-OP SOC	6	675.93	4055.57	RESIDENTIAL	C	FAIR - POOR	1950-59		
109	7	647.08	4529.56	TENANT	7	647.08	4529.56	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
110	6	750.10	4500.61	CO-OP SOC	6	750.10	4500.61	RESIDENTIAL	C	FAIR	1950-59		
111	6	734.66	4407.98	CO-OP SOC	6	734.66	4407.98	RESIDENTIAL	B	FAIR - POOR	1950-59	ART DECO	
112	7	759.73	5318.08	CO-OP SOC	7	759.73	5318.08	RESIDENTIAL	C	GOOD - FAIR	1950-59		
113	7	696.71	4876.98	CO-OP SOC	0.5	696.71	348.36	COMMERCIAL	C	POOR	1950-59		
				CO-OP SOC	6.5	696.71	4528.82	RESIDENTIAL	C	POOR	1950-59		
114	7	677.61	4743.30	CO-OP SOC	7	677.61	4743.30	RESIDENTIAL	C	FAIR	1950-59		
115	6	684.96	4109.78	TENANT	6	684.96	4109.78	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
116	7	726.36	5084.52	TENANT	0.5	726.36	363.18	COMMERCIAL	C	GOOD - FAIR	1950-59		CESS
				TENANT	6.5	726.36	4721.34	RESIDENTIAL	C	GOOD - FAIR	1950-59		CESS
117	6	747.71	4486.28	CO-OP SOC	1	747.71	747.71	COMMERCIAL	C	FAIR	1940-49		
				CO-OP SOC	5	747.71	3738.57	RESIDENTIAL	C	FAIR	1940-49		
118	7	720.04	5040.28	CO-OP SOC	0.3	720.04	216.01	COMMERCIAL	C	POOR	1940-49		
				CO-OP SOC	6.7	720.04	4824.27	RESIDENTIAL	C	POOR	1940-49		
119	7	714.15	4999.03	CO-OP SOC	7	714.15	4999.03	COMMERCIAL	C	FAIR	1950-59		
120	7	637.81	4484.70	CO-OP SOC	7	637.81	4484.70	RESIDENTIAL	C	FAIR - POOR	1950-59		
121	8	624.39	4995.12	TENANT	1	624.39	624.39	COMMERCIAL	B	POOR	1940-49	ART DECO	CESS
				TENANT	7	624.39	4370.73	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
122	7	1481.47	10370.30	OWNERSHIP	7	1481.47	10370.30	COMMERCIAL	B	GOOD - FAIR	1940-49	ART DECO	
123	10	705.66	7056.61	CO-OP SOC	10	705.66	7056.61	COMMERCIAL	E	FAIR - POOR	1970-79		
124	10	609.89	6096.89	CENT.GOVT	10	609.89	6096.89	RESIDENTIAL	E	FAIR			
125	4	516.51	2086.04	CENT.GOVT	4	516.51	2086.04	RESIDENTIAL	E	FAIR	1970-79		
126	7	988.49	6779.41	STATE-GOVT	7	988.49	6779.41	INSTITUTIONAL	C	FAIR	1950-59		
127	7	640.21	3781.46	TENANT	5	640.21	2701.06	COMMERCIAL	C	FAIR	1970-79		
				TENANT	1	640.21	540.21	RESIDENTIAL	C	FAIR	1970-79		
				TENANT	1	540.21	540.21	INSTITUTIONAL	C	FAIR	1970-79		
128	6	482.42	2894.53	TRUST	6	482.42	2894.53	INSTITUTIONAL	D	FAIR	1970-79		
129	7	635.13	3745.94	TENANT	3.6	635.13	1872.97	COMMERCIAL	B	POOR	1950-59	ART DECO	CESS
				TENANT	3.5	635.13	1872.97	RESIDENTIAL	B	POOR	1950-59	ART DECO	CESS
130	7	585.59	4099.13	TRUST	0.5	585.59	282.79	COMMERCIAL	D	FAIR	1950-59		
				TRUST	6.5	585.59	3806.33	INSTITUTIONAL	D	FAIR	1950-59		
131	7	643.00	3801.02	TRUST	2	643.00	1086.01	COMMERCIAL	B	GOOD - FAIR	1950-59	ART DECO	CESS
				TRUST	2	643.00	1086.01	RESIDENTIAL	B	GOOD - FAIR	1950-59	ART DECO	CESS
				TRUST	3	643.00	1829.01	INSTITUTIONAL	B	GOOD - FAIR	1950-59	ART DECO	CESS
132	8	671.80	5974.40	CO-OP SOC	1	671.80	671.80	COMMERCIAL	E	POOR	1970-79		
				CO-OP SOC	7	671.80	4702.60	RESIDENTIAL	E	POOR	1970-79		
133	7	716.46	5015.21	CENT.GOVT	7	716.46	5015.21	INSTITUTIONAL	C	FAIR	1950-59		
134	6	594.33	3565.97	CO-OP SOC	6	594.33	3565.97	RESIDENTIAL	B	POOR	1940-49	ART DECO	
135	8	451.46	3451.70	TRUST	8	451.46	3451.70	INSTITUTIONAL	D	GOOD - FAIR	1950-59		
136	7	636.48	4455.33	CENT.GOVT	7	636.48	4455.33	GOVT HOUSING	E	FAIR			
137	5	663.62	3318.10	CO-OP SOC	5	663.62	3318.10	COMMERCIAL	E	FAIR	1960-69		
138	8	783.81	6270.46	TENANT	2	783.81	1567.61	COMMERCIAL	B	FAIR - POOR	1950-59	ART DECO	CESS
				TENANT	6	783.81	4702.84	RESIDENTIAL	B	FAIR - POOR	1950-59	ART DECO	CESS
139	6	895.92	5375.50	TENANT	6	895.92	5375.50	RESIDENTIAL	A	POOR	1940-49	AD & SIG	CESS
140	6	878.67	5272.05	TENANT	6	878.67	5272.05	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
141	6	914.94	5489.66	TENANT	6	914.94	5489.66	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
142	7	703.40	4923.83	TENANT	7	703.40	4923.83	RESIDENTIAL	A	FAIR	1950-59	AD & SIG	CESS
143	8	640.12	5120.97	CO-OP SOC	8	640.12	5120.97	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
144	6	830.34	4982.02	TENANT	6	830.34	4982.02	RESIDENTIAL	B	FAIR - POOR	1950-59	ART DECO	CESS
145	7	824.58	5772.05	CO-OP SOC	7	824.58	5772.05	RESIDENTIAL	B	FAIR	1940-49	ART DECO	
146	8	838.21	6705.66	TENANT	0.5	838.21	419.10	COMMERCIAL	B	FAIR	1940-49	ART DECO	CESS
				TENANT	7.5	838.21	6266.56	RESIDENTIAL	B	FAIR	1940-49	ART DECO	CESS
147	8	815.89	6527.14	CO-OP SOC	8	815.89	6527.14	RESIDENTIAL	B	FAIR	1940-49	ART DECO	
148	7	825.27	5776.87	TENANT	7	825.27	5776.87	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
149	6	889.74	5338.47	TRUST	6	889.74	5338.47	RESIDENTIAL	A	FAIR	1940-49	AD & SIG	CESS
150e	4	12256.42	49025.70	TRUST	1.5	12256.42	18384.64	RECREATIONAL	A	FAIR	1940-49		
150	4	483.30611	1973.22	TRUST	4	483.30611	1973.22	RESIDENTIAL	D	FAIR	1970-79		
151	8	534.09	4272.74	TENANT	8	534.09	4272.74	RESIDENTIAL	C	POOR	1940-49		CESS
152	8	2234.86	17878.89	CENT.GOVT	8	2234.86	17878.89	RESIDENTIAL	C	FAIR	1970-79		
153	8	652.50	5220.02	TRUST	8	652.50	5220.02	RESIDENTIAL	D	FAIR - POOR	1950-59		
154	7	605.23	4236.62	TENANT	5	605.23	3026.15	COMMERCIAL	E	FAIR - POOR			
				CENT.GOVT	1	605.23	605.23	INSTITUTIONAL	E	FAIR - POOR			
				SEMI-GOVT	1	605.23	605.23	INSTITUTIONAL	E	FAIR - POOR			
155	8	571.27	4570.18	CO-OP SOC	1	571.27	571.27	COMMERCIAL	B	POOR	1950-59		CESS
				CO-OP SOC	7	571.27	3998.90	RESIDENTIAL	B	POOR	1950-59		CESS
156	7	659.84	4618.67	CO-OP SOC	7	659.84	4618.67	COMMERCIAL	E	FAIR	1960-69		
157	5	664.40	3322.00	CO-OP SOC	5	664.40	3322.00	COMMERCIAL	E	GOOD - FAIR	1970-79		
158	6	565.68	3394.09	TENANT	2	565.68	1131.36	RESIDENTIAL	B	FAIR - POOR	1930-39	ART DECO	CESS
				OWNERSHIP	4	565.68	2262.72	RESIDENTIAL	B	FAIR - POOR	1930-39	ART DECO	CESS

Survey Matrix C

BLDG DENOM	BLDG TOPO	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	OWNERSHIP	FLOOR DIV	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	BLDG USE	VALUE	BLDG CONDITION	AGE	ART DECO	CESS BLDG
159	6	486.09	2916.55	CO-OP SOC	6	486.09	2916.55	RESIDENTIAL	B	GOOD - FAIR	1950-59	ART DECO	
160	7	2709.59	18967.15	TRUST	7	2709.59	18967.15	INSTITUTIONAL	D	FAIR	1950-59		
161	9	517.91	4661.15	CO-OP SOC	9	517.91	4661.15	COMMERCIAL	E	FAIR	1970-79		
162	6	597.84	3587.06	SEMI-GOVT	6	597.84	3587.06	COMMERCIAL	E	GOOD - FAIR			CESS
163	4	612.09	2448.36	CO-OP SOC	4	612.09	2448.36	COMMERCIAL	E	FAIR - POOR	1970-79		CESS
164	4	1005.35	4021.42	TRUST	4	1005.35	4021.42	INSTITUTIONAL	D	GOOD - FAIR	1950-59		
165	7	4571.95	32003.68	CENT.GOVT	7	4571.95	32003.68	INSTITUTIONAL	A	FAIR	1940-49	SIGNIFICANT	
166	7	622.04	4354.27	CO-OP SOC	7	622.04	4354.27	COMMERCIAL	E	FAIR			
167	8	612.16	4067.24	CO-OP SOC	8	612.16	4067.24	COMMERCIAL	E	FAIR - POOR	1970-79		
168	6	672.83	4036.97	CO-OP SOC	1	672.83	4036.97	COMMERCIAL	E	FAIR - POOR	1970-79		
				CO-OP SOC	5	672.83	3364.14	RESIDENTIAL	E	FAIR - POOR	1970-79		
169	6	672.83	5382.63	CO-OP SOC	8	672.83	5382.63	COMMERCIAL	E	POOR			
170	6	711.75	4270.48	CO-OP SOC	6	711.75	4270.48	COMMERCIAL	F	FAIR	1950-59		
171	6	773.16	4638.94	CO-OP SOC	6	773.16	4638.94	COMMERCIAL	E	FAIR			
172	10	691.95	6919.50	STATE-GOVT	10	691.95	6919.50	GOVT HOUSING	E	FAIR - POOR	1970-79		
173	6	6539.24	39236.41	CENT.GOVT	6	6539.24	39236.41	INSTITUTIONAL	A	FAIR - POOR	1930-39	SIGNIFICANT	
173a	19	400.00	7600.00	CENT.GOVT	19	400.00	7600.00	INSTITUTIONAL	F	GOOD - FAIR	1970-79		
174	1	313.50	313.50	TRUST	1	313.50	313.50	INSTITUTIONAL	C	FAIR	1940-49		
175	6	964.99	5789.96	TRUST	6	964.99	5789.96	INSTITUTIONAL	B	GOOD - FAIR	1950-59		
176	6	755.54	4533.26	TENANT	0.5	755.54	377.77	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				TENANT	4.5	755.54	3399.95	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
				TENANT	1	755.54	755.54	INSTITUTIONAL	B	POOR	1930-39	ART DECO	CESS
177	6	767.97	4607.83	TRUST	6	767.97	4607.83	COMMERCIAL	B	FAIR	1950-59	ART DECO	
178	16	3479.67	55674.71	TRUST	16	3479.67	55674.71	INSTITUTIONAL	C	GOOD - FAIR	1970-79		
179	6	489.61	2937.66	TENANT	4	489.61	1858.44	COMMERCIAL	B	EXT - POOR	1930-39	ART DECO	CESS
				TENANT	2	489.61	979.22	RESIDENTIAL	B	EXT - POOR	1930-39	ART DECO	CESS
180	6	1126.99	6761.95	TRUST	6	1126.99	6761.95	INSTITUTIONAL	A	GOOD - FAIR	1950-59	SIGNIFICANT	
181	6	589.02	3534.12	OWNERSHIP	0.5	589.02	294.51	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				OWNERSHIP	5.5	589.02	3238.61	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
182	6	691.35	4148.08	TENANT	2	691.35	1382.69	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				TENANT	4	691.35	2765.39	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
183	6	1161.67	6970.04	TENANT	6	1161.67	6970.04	COMMERCIAL	A	GOOD - FAIR	1950-59	AD & SIG	CESS
184	6	674.07	4044.39	CO-OP SOC	2	674.07	1348.19	COMMERCIAL	B	FAIR	1950-59	ART DECO	CESS
				CO-OP SOC	4	674.07	2696.26	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
185	7	442.84	3099.89	TENANT	2.5	442.84	1107.10	COMMERCIAL	B	EXT - POOR	1950-59	ART DECO	CESS
				TENANT	4.5	442.84	1992.79	RESIDENTIAL	B	EXT - POOR	1950-59	ART DECO	CESS
186	6	285.42	1712.54	TENANT	6	285.42	1712.54	RESIDENTIAL	C	EXT - POOR	1950-59		
187	6	229.65	1377.92	CO-OP SOC	1	229.65	229.65	COMMERCIAL	B	FAIR	1950-59	ART DECO	
				CO-OP SOC	5	229.65	1148.27	RESIDENTIAL	B	FAIR	1950-59	ART DECO	
188	7	294.89	1434.22	CO-OP SOC	4.5	294.89	922.90	COMMERCIAL	B	POOR	1950-59	ART DECO	CESS
				CO-OP SOC	2.5	294.89	512.22	RESIDENTIAL	B	POOR	1950-59	ART DECO	CESS
189	7	590.28	4131.99	CO-OP SOC	1.5	590.28	885.43	COMMERCIAL	C	FAIR	1950-59	ART DECO	CESS
				CO-OP SOC	5.5	590.28	3246.56	RESIDENTIAL	C	FAIR	1950-59	ART DECO	CESS
190	7	282.04	1974.31	TENANT	2.5	282.04	705.11	COMMERCIAL	B	EXT - POOR	1950-59	ART DECO	CESS
				TENANT	4.5	282.04	1269.20	RESIDENTIAL	B	EXT - POOR	1950-59	ART DECO	CESS
191	7	165.41	1157.87	CO-OP SOC	1	165.41	165.41	COMMERCIAL	B	EXT - POOR	1950-59	ART DECO	CESS
				CO-OP SOC	6	165.41	992.46	RESIDENTIAL	B	EXT - POOR	1950-59	ART DECO	CESS
192	4	400.50	1602.01	OWNERSHIP	1	400.50	400.50	COMMERCIAL	B	EXT - POOR	1950-59	ART DECO	CESS
				OWNERSHIP	3	400.50	1201.51	RESIDENTIAL	B	EXT - POOR	1950-59	ART DECO	CESS
193	6	685.77	4114.63	TENANT	1	685.77	685.77	COMMERCIAL	B	POOR	1950-59		CESS
					5	685.77	3428.86	RESIDENTIAL	B	POOR	1950-59		CESS
194	3	804.95	2414.85	TENANT	2.5	804.95	2012.37	COMMERCIAL	C	POOR	1940-49	ART DECO	
				OWNERSHIP	3.5	804.95	2817.32	RESIDENTIAL	C	POOR	1940-49	ART DECO	
195	6	455.86	2735.18	TENANT	0.5	455.86	227.93	COMMERCIAL	B	EXT - POOR	1930-39	ART DECO	CESS
				TENANT	5.5	455.86	2507.24	RESIDENTIAL	B	EXT - POOR	1930-39	ART DECO	CESS
195a	7	449.01	3143.07	TENANT	3	449.01	1347.03	COMMERCIAL	B	EXT - POOR	1950-59	ART DECO	CESS
				TENANT	4	449.01	1796.04	RESIDENTIAL	B	EXT - POOR	1950-59	ART DECO	CESS
196	5	334.39	1871.95	TENANT	5	334.39	1871.95	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
197	7	303.80	2126.60	TENANT	7	303.80	2126.60	RESIDENTIAL	B	EXT - POOR	1940-49	ART DECO	CESS
198	6	310.00	1859.96	TENANT	6	310.00	1859.96	RESIDENTIAL	B	EXT - POOR	1940-49	ART DECO	CESS
199	7	772.92	5410.44	TENANT	2	772.92	1545.84	COMMERCIAL	B	POOR	1950-59	ART DECO	CESS
				TENANT	5	772.92	3864.60	RESIDENTIAL	B	POOR	1950-59	ART DECO	CESS
200	7	926.62	6479.34	TENANT	1	926.62	926.62	COMMERCIAL	B	POOR	1950-59	ART DECO	CESS
				TENANT	6	926.62	5553.72	RESIDENTIAL	B	POOR	1950-59	ART DECO	CESS
201	7	931.94	6523.57	TENANT	1	931.94	931.94	COMMERCIAL	B	FAIR	1950-59	ART DECO	CESS
				TENANT	6	931.94	5591.63	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
202	1	294.57	294.57		1	294.57	294.57		RG				
203	6	496.27	2977.65	TRUST	0.5	496.27	248.14	COMMERCIAL	B	EXT - POOR	1950-59	ART DECO	CESS
				TRUST	5.5	496.27	2729.51	RESIDENTIAL	B	EXT - POOR	1950-59	ART DECO	CESS
204	6	562.21	3373.26	TENANT	2	562.21	1124.42	COMMERCIAL	B	FAIR	1940-49	ART DECO	CESS
				TENANT	4	562.21	2248.84	RESIDENTIAL	B	FAIR	1940-49	ART DECO	CESS
205	6	493.07	2958.39	TENANT	2	493.07	986.13	COMMERCIAL	C	POOR	1930-39		CESS
				TENANT	4	493.07	1972.26	RESIDENTIAL	C	POOR	1930-39		CESS
206	6	483.74	2902.45	CO-OP SOC	5.5	483.74	2060.68	RESIDENTIAL	C	FAIR - POOR	1940-49		CESS
				CO-OP SOC	0.5	483.74	241.87	INSTITUTIONAL	C	FAIR - POOR	1940-49		CESS
207	6	507.57	3045.40	CO-OP SOC	6	507.57	3045.40	RESIDENTIAL	C	POOR	1940-49		CESS
208	6	455.71	2734.26	CO-OP SOC	6	455.71	2734.26	RESIDENTIAL	C	POOR	1940-49		CESS
209	7	837.13	5859.93	CO-OP SOC	1	837.13	837.13	COMMERCIAL	B	FAIR - POOR	1940-49	ART DECO	
				CO-OP SOC	6	837.13	5022.80	RESIDENTIAL	B	FAIR - POOR	1940-49	ART DECO	
210	6	392.77	2356.59	CO-OP SOC	6	392.77	2356.59	RESIDENTIAL	C	POOR	1940-49		
211	7	410.46	2873.22	CO-OP SOC	7	410.46	2873.22	RESIDENTIAL	C	FAIR - POOR	1950-59		
212	7	411.10	2877.67	CO-OP SOC	7	411.10	2877.67	RESIDENTIAL	C	FAIR - POOR	1950-59		
213	7	508.08	3536.53	CO-OP SOC	1	508.08	508.08	COMMERCIAL	C	FAIR - POOR	1950-59		
				CO-OP SOC	6	508.08	3048.45	RESIDENTIAL	C	FAIR - POOR	1950-59		

Survey Matrix D

BLDG DENOM	BLDG TOPO	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	OWNERSHIP	FLOOR DIV	FLOOR AREA (sq. mts)	BUILTUP (sq. mts)	BLDG USE	VALUE	BLDG CONDITON	AGE	ART DECO	CESS BLDG
214	7	869.73	6088.09	CO-OP SOC	7	869.73	6088.09	RESIDENTIAL	B	GOOD - FAIR	1950-59	ART DECO	
215	1.5	2219.20	3328.80	STATE-GOVT	1.5	2219.20	3328.80	RESIDENTIAL	C	FAIR	1960-69		
215a	6	574.05	3444.32	STATE-GOVT	6	574.05	3444.32	RESIDENTIAL	C	POOR	1960-69		
216	6	387.95	2327.71	CO-OP SOC	1	387.95	387.95	COMMERCIAL	C	POOR	1950-59		
				CO-OP SOC	5	387.95	1939.76	RESIDENTIAL	C	POOR	1950-59		
217	7	423.92	2967.43	CO-OP SOC	1	423.92	423.92	COMMERCIAL	C	POOR	1950-59		
				CO-OP SOC	6	423.92	2543.51	RESIDENTIAL	C	POOR	1950-59		
218	7	701.74	4912.16	CO-OP SOC	1	701.74	701.74	COMMERCIAL	B	FAIR - POOR	1940-49	ART DECO	
				CO-OP SOC	6	701.74	4210.42	RESIDENTIAL	B	FAIR - POOR	1940-49	ART DECO	
219	7	452.02	3164.13	CO-OP SOC	7	452.02	3164.13	RESIDENTIAL	C	FAIR	1940-49		
220	7	424.18	2959.25	CO-OP SOC	6	424.18	2545.07	RESIDENTIAL	C	POOR	1960-69		
				CO-OP SOC	1	424.18	424.18	INSTITUTIONAL	C	POOR	1960-69		
221	7	453.41	3173.85	CO-OP SOC	7	453.41	3173.85	RESIDENTIAL	C	FAIR - POOR	1980-89		
222	7	479.85	3359.94	CO-OP SOC	1	479.85	479.85	COMMERCIAL	C	FAIR - POOR	1940-49		
				CO-OP SOC	6	479.85	2879.09	RESIDENTIAL	C	FAIR - POOR	1940-49		
223	7	665.22	4656.55	CO-OP SOC	1	665.22	665.22	COMMERCIAL	B	POOR	1940-49	ART DECO	CESS
				CO-OP SOC	6	665.22	3991.33	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
224	7	359.50	2516.49	CO-OP SOC	7	359.50	2516.49	RESIDENTIAL	C	FAIR	1940-49		
225	7	392.93	2750.52	CO-OP SOC	7	392.93	2750.52	RESIDENTIAL	C	FAIR - POOR	1950-59		
226	7	383.32	2683.23	CO-OP SOC	7	383.32	2683.23	RESIDENTIAL	D	POOR	1960-69		
227	7	421.69	2961.16	CO-OP SOC	1	421.69	421.69	COMMERCIAL	C	FAIR - POOR	1960-69		
				CO-OP SOC	6	421.69	2529.57	RESIDENTIAL	C	FAIR - POOR	1960-69		
228	7	667.74	4674.15	CO-OP SOC	1	667.74	667.74	COMMERCIAL	B	FAIR - POOR	1940-49	ART DECO	
				CO-OP SOC	6	667.74	4006.42	RESIDENTIAL	B	FAIR - POOR	1940-49	ART DECO	
229	2	399.25	799.49	TRUST	2	399.25	799.49	INSTITUTIONAL	D	FAIR - POOR	1970-79		
230	7	500.82	3505.77	CENT GOVT	7	500.82	3505.77	INSTITUTIONAL	D	FAIR - POOR	1930-39		
231	7	786.22	5496.64	CO-OP SOC	6	786.22	4711.32	RESIDENTIAL	B	FAIR - POOR	1950-59	ART DECO	
				CO-OP SOC	1	786.22	786.22	INSTITUTIONAL	B	FAIR - POOR	1950-59	ART DECO	
232	7	365.70	2659.92	CO-OP SOC	7	365.70	2659.92	RESIDENTIAL	C	FAIR	1950-59		
233	7	544.72	3813.02	CO-OP SOC	1	544.72	544.72	COMMERCIAL	B	FAIR	1950-59	ART DECO	
				CO-OP SOC	6	544.72	3299.30	RESIDENTIAL	B	FAIR	1950-59	ART DECO	
234	8	353.75	2830.01	CO-OP SOC	8	353.75	2830.01	COMMERCIAL	D	FAIR	1950-59		
235	8	500.92	4007.37	CO-OP SOC	8	500.92	4007.37	COMMERCIAL	D	FAIR	1950-59		
236	4	382.47	956.18	OWNERSHIP	1	382.47	956.18	COMMERCIAL	D	FAIR	1970-79		
				OWNERSHIP	3	382.47	956.18	RESIDENTIAL	D	EXT - POOR	1970-79		
236a	2	725.89	1451.77	TRUST	2	725.89	1451.77	INSTITUTIONAL	D	FAIR	BEFORE 1900	SIGNIFICANT	
237	2	822.18	1293.26	TRUST	2	822.18	1293.26	INSTITUTIONAL	A	GOOD - FAIR	1960-69		
238	7	750.28	5251.93	TRUST	7	750.28	5251.93	INSTITUTIONAL	C	POOR	1960-69		
239	2	231.87	463.74	TRUST	2	231.87	463.74	INSTITUTIONAL	A	FAIR	BEFORE 1900	SIGNIFICANT	
240	4	642.96	1607.40	STATE-GOVT	4	642.96	1607.40	INSTITUTIONAL	C	FAIR	1970-79		
241	3	1147.17	3441.50	STATE-GOVT	3	1147.17	3441.50	INSTITUTIONAL	A	FAIR - POOR	1950-59	AD & SIG	
241a	2	871.57	1949.15	STATE-GOVT	2	871.57	1949.15	INSTITUTIONAL	C	EXT - POOR	1950-59		
242	3	580.53	1741.60	TRUST	3	580.53	1741.60	INSTITUTIONAL	D	EXT - POOR	1970-79		
243	3	495.00	1485.00		3	495.00	1485.00				1960-2000		
244	2	290.66	581.32	TRUST	2	290.66	581.32	INSTITUTIONAL	B	FAIR - POOR	BEFORE 1900		CESS
244a	3	339.22	1017.67	TRUST	3	339.22	1017.67	INSTITUTIONAL	B	FAIR	1970-79		CESS
245	12	1009.67	12116.05	TRUST	6	1009.67	8058.03	INSTITUTIONAL	E	FAIR	1970-79		
				TENANT	6	1009.67	8058.03	INSTITUTIONAL	E	FAIR	1970-79		
246	6	640.05	3840.28	TRUST	3	640.05	1920.14	COMMERCIAL	E	FAIR	1970-79		
				TRUST	3	640.05	1920.14	INSTITUTIONAL	E	FAIR	1970-79		
247	6	1488.60	8931.57	STATE-GOVT	6	1488.60	8931.57	INSTITUTIONAL	C	FAIR - POOR	1950-59		
248	5	1069.04	5345.20	STATE-GOVT	5	1069.04	5345.20	INSTITUTIONAL	D	FAIR - POOR	1950-59		
248a	4	581.50	2325.98	STATE-GOVT	4	581.50	2325.98	INSTITUTIONAL	D	POOR	1950-59		
249	2	711.10	1422.20	STATE-GOVT	2	711.10	1422.20	INSTITUTIONAL	C	FAIR			
250	1	6137.01	6137.01	STATE-GOVT	1	6137.01	6137.01	INSTITUTIONAL	A	POOR	BEFORE 1900	SIGNIFICANT	
251	4	703.88	2815.54	STATE-GOVT	4	703.88	2815.54	INSTITUTIONAL	D	FAIR	1950-59		
252	3	729.59	2188.76	STATE-GOVT	3	729.59	2188.76	INSTITUTIONAL	C	FAIR	1950-59		
253	1	1713.64	1713.64	TRUST	1	1713.64	1713.64	RECREATIONAL	C	FAIR	1960-69		
254	1	2188.31	2188.31	TRUST	1	2188.31	2188.31	RECREATIONAL	C	FAIR	1960-69		
255	2	2270.96	4541.93	STATE-GOVT	2	2270.96	4541.93	INSTITUTIONAL	C	FAIR - POOR	1960-69		
256	6	699.31	4195.86	TENANT	1	699.31	699.31	COMMERCIAL	D	POOR	1920-29	SIGNIFICANT	
				OWNERSHIP	5	699.31	3496.56	RESIDENTIAL	D	POOR	1920-29	SIGNIFICANT	
256a	3	228.79	686.37	OWNERSHIP	3	228.79	686.37	RESIDENTIAL	A	POOR	1960-69		CESS
257	5	140.07	700.36	TENANT	5	140.07	700.36	RESIDENTIAL	C	POOR	1930-39		CESS
258	4	859.48	3437.91	TENANT	0.2	859.48	171.90	COMMERCIAL	C	POOR	1930-39		CESS
				TENANT	3.8	859.48	3266.01	RESIDENTIAL	A	POOR	1930-39		CESS
259	1.5	819.31	1228.97	TENANT	1	819.31	819.31	COMMERCIAL	C	POOR	BEFORE 1900	SIGNIFICANT	CESS
259a	1.5	819.31	1228.97	OWNERSHIP	2	819.31	1638.82	RESIDENTIAL	E	POOR		SIGNIFICANT	CESS
260	6	315.52	1893.13	TENANT	0.3	315.52	94.66	COMMERCIAL	E	FAIR - POOR	1980-69		
				TENANT	5.7	315.52	1798.47	RESIDENTIAL	E	FAIR - POOR	1930-39		
261	7	382.06	2172.34	CO-OP SOC	0.5	382.06	108.82	COMMERCIAL	C	FAIR	1930-39		
				TENANT	6.5	382.06	2063.72	RESIDENTIAL	C	FAIR	1930-39		
261a	6	184.84	1293.91	TENANT	6	184.84	92.42	RESIDENTIAL	D	FAIR - POOR	1930-39		
262	6	563.36	3380.17	OWNERSHIP	3	563.36	1690.09	RESIDENTIAL	C	FAIR - POOR	1930-39		
				OWNERSHIP	3	563.36	1690.09	INSTITUTIONAL	C	FAIR - POOR	1930-39		
263	6	313.77	1882.59	TENANT	6	313.77	1882.59	RESIDENTIAL	B	FAIR - POOR	1930-39	ART DECO	CESS
264	5	301.08	1505.42	TENANT	5	301.08	1505.42	RESIDENTIAL	C	POOR	1930-39		CESS

Survey Matrix E

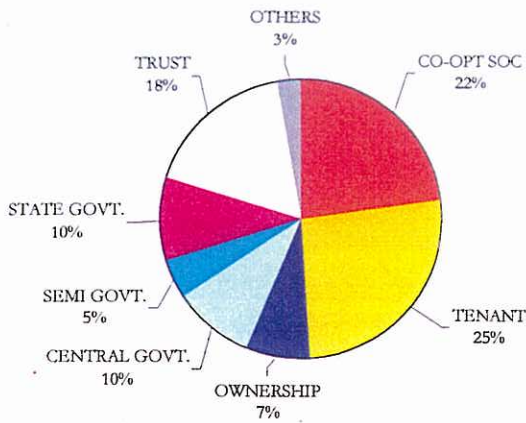
BLDG DENOM	BLDG TOPO	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	OWNERSHIP	FLOOR DIV	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	BLDG USE	VALUE	BLDG CONDITION	AGE	ART DECO	CESS BLDG
265	6	532.87	3197.22	TENANT	1.5	532.87	799.30	COMMERCIAL	B	FAIR - POOR	1930-39	ART DECO	CESS
				TENANT	4.5	532.87	2397.91	RESIDENTIAL	B	FAIR - POOR	1930-39	ART DECO	CESS
266	6	413.77859	2482.67	TENANT	6	413.77859	2482.67	RESIDENTIAL	C	FAIR - POOR	1930-39		
267	6	423.46	2540.74	TENANT	0.5	423.46	211.73	COMMERCIAL	B	FAIR	1930-39	ART DECO	CESS
				TENANT	5.5	423.46	2329.01	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
268	5	302.73	1613.63	TENANT	1	302.73	302.73	COMMERCIAL	C	POOR	BEFORE 1900		CESS
				TENANT	4	302.73		RESIDENTIAL	C	POOR	BEFORE 1900		CESS
269	5	336.43	1682.13	TENANT	5	336.43	1682.13	RESIDENTIAL	D	EXT - POOR	1930-39		CESS
269a	4	513.00	2052.01	OWNERSHIP	4	513.00	2052.01	COMMERCIAL	D	FAIR	1930-39		CESS
269b	3	83.79	251.36	TENANT	0.5	83.79	41.89	COMMERCIAL	D	EXT - POOR	1930-39		
				TENANT	2.5	83.79	209.46	RESIDENTIAL	D	EXT - POOR	1930-39		
270	7	1669.55	11686.88	TENANT	3.5	1669.55	5843.44	COMMERCIAL	A	FAIR - POOR	1930-39	AD & SIG	CESS
				OWNERSHIP	3.5	1669.55	5843.44	RESIDENTIAL	A	FAIR - POOR	1930-39	AD & SIG	CESS
271	7	419.87	2939.12	TENANT	0.5	419.87	209.94	COMMERCIAL	B	POOR	1930-39	ART DECO	
				TENANT	6.5	419.87	2729.19	RESIDENTIAL	B	POOR	1930-39	ART DECO	
272	6	414.14	2484.83	TENANT	1.5	414.14	621.21	COMMERCIAL	A	POOR	1930-39	SIGNIFICANT	
				TENANT	4.5	414.14	1863.62	RESIDENTIAL	A	POOR	1930-39	SIGNIFICANT	
273	7	280.72	1965.03	TENANT	2.5	280.72	701.80	COMMERCIAL	B	POOR	1920-29	ART DECO	CESS
				TENANT	4.5	280.72	1263.23	RESIDENTIAL	B	POOR	1920-29	ART DECO	CESS
274	8	947.40	7579.17	TENANT	5	947.40	4736.98	COMMERCIAL	B	POOR	1930-39	ART DECO	
				TRUST	3	947.40	2842.19	RESIDENTIAL	B	POOR	1930-39	ART DECO	
275	5	771.18	3855.92	TENANT	1	771.18	771.18	COMMERCIAL	A	POOR	1920-29	SIGNIFICANT	
				TENANT	4	771.18	3084.73	RESIDENTIAL	A	POOR	1920-29	SIGNIFICANT	
276	8	623.54	4988.32	CO-OP SOC	4	623.54	2494.16	COMMERCIAL	C	FAIR - POOR	1950-59		
				CO-OP SOC	4	623.54	2494.16	RESIDENTIAL	C	FAIR - POOR	1950-59		
276a	5	262.82	1314.11	TENANT	1	262.82	262.82	COMMERCIAL	C	FAIR - POOR	1920-29	SIGNIFICANT	
				TENANT	4	262.82	1051.29	RESIDENTIAL	C	FAIR - POOR	1920-29	SIGNIFICANT	
277	4	200.94	803.75	TENANT	1	200.94	200.94	COMMERCIAL	B	FAIR - POOR	1930-39	ART DECO	CESS
				TENANT	3	200.94	602.81	RESIDENTIAL	B	FAIR - POOR	1930-39	ART DECO	CESS
277a	3	193.10	579.31	TENANT	3	193.10	579.31	RESIDENTIAL	B	FAIR - POOR	1930-39		CESS
278	6	433.68	2602.09	TENANT	6	433.68	2602.09	RESIDENTIAL	A	FAIR	1920-29	SIGNIFICANT	CESS
279	5	547.88	2739.42	TENANT	0.5	547.88	273.94	COMMERCIAL	A	POOR	1930-39	SIGNIFICANT	CESS
				TENANT	3.5	547.88	1917.59	RESIDENTIAL	A	POOR	1930-39	SIGNIFICANT	CESS
				TENANT	1	547.88	547.88	INSTITUTIONAL	A	POOR	1930-39	SIGNIFICANT	CESS
280	3	503.18	1509.54	OWNERSHIP	3	503.18	1509.54	COMMERCIAL	E	EXT - POOR	1930-39		CESS
280a	4	440.05	1760.20	TENANT	1	440.05	440.05	COMMERCIAL	A	FAIR - POOR	1900-09		CESS
				TENANT	3	440.05	1320.15	RESIDENTIAL	A	FAIR - POOR	1900-09		CESS
281	5	110.01	550.06	TENANT	1	110.01	110.01	COMMERCIAL	E	FAIR			CESS
				TENANT	4	110.01	440.04	RESIDENTIAL	E	FAIR			CESS
281a	3	329.49	988.47	TENANT	3	329.49	988.47	INSTITUTIONAL	D	POOR	1930-39		CESS
281b	5	350.82	1753.12	TENANT	5	350.82	1753.12	RESIDENTIAL	D	POOR	1920-29		CESS
281c	4	151.82	607.27	TENANT	1	151.82	151.82	COMMERCIAL	C	FAIR - POOR	1920-29		CESS
				TENANT	3	151.82	455.45	RESIDENTIAL	C	FAIR - POOR	1920-29		CESS
281d	3	110.69	332.07	TENANT	3	110.69	332.07	RESIDENTIAL	C	FAIR - POOR	1920-29		CESS
282	2	844.85	1689.71	OWNERSHIP	2	844.85	1689.71	COMMERCIAL	A	FAIR	1930-39	SIGNIFICANT	
282a	8	510.49	4083.91	TENANT	8	510.49	4083.91	RESIDENTIAL	A	FAIR	1960-69	SIGNIFICANT	CESS
283	5	383.87	1919.37	TENANT	1	383.87	383.87	COMMERCIAL	C	FAIR	1940-49	SIGNIFICANT	CESS
				TENANT	4	383.87	1535.50	RESIDENTIAL	C	FAIR	1940-49	SIGNIFICANT	CESS
284	8	192.06	1536.48	CO-OP SOC	0.25	192.06	48.01	COMMERCIAL	E	FAIR - POOR	1960-69		CESS
				CO-OP SOC	7.75	192.06	1488.46	RESIDENTIAL	E	FAIR - POOR	1960-69		CESS
284a	2	168.58	397.15	TENANT	2	168.58	397.15	RESIDENTIAL	E	FAIR - POOR	1960-69		CESS
284b	4	419.82	1679.26	TENANT	1	419.82	419.82	COMMERCIAL	E	FAIR - POOR	1930-39		CESS
				TENANT	3	419.82	1259.45	RESIDENTIAL	E	FAIR - POOR	1930-39		CESS
285a	4	203.06	812.24	OWNERSHIP	1	203.06	203.06	COMMERCIAL	B	FAIR - POOR	1940-49		CESS
				OWNERSHIP	3	203.06	609.18	RESIDENTIAL	B	FAIR - POOR	1940-49		CESS
285	4	857.69	3430.76	TENANT	1	857.69	857.69	COMMERCIAL	B	FAIR - POOR	1960-69		CESS
				TENANT	3	857.69	2573.07	RESIDENTIAL	B	FAIR - POOR	1960-69		CESS
285a	1	398.67	308.67	TENANT	1	398.67	308.67	COMMERCIAL	B	FAIR - POOR	1960-69		CESS
285b	7	201.45	1410.16	OWNERSHIP	7	201.45	1410.16	COMMERCIAL	D	FAIR - POOR	1970-79		CESS
286	7	386.80	2707.63	CO-OP SOC	0.5	386.80	193.40	COMMERCIAL	E	FAIR	1970-79		CESS
				CO-OP SOC	6.25	386.80	2417.53	RESIDENTIAL	E	FAIR	1970-79		CESS
				CO-OP SOC	0.25	386.80	96.70	INSTITUTIONAL	E	FAIR	1970-79		CESS
287	5	389.48	1947.40	TENANT	1	389.48	389.48	COMMERCIAL	B	FAIR - POOR	1950-59		CESS
				TENANT	4	389.48	1557.92	RESIDENTIAL	B	FAIR - POOR	1950-59		CESS
288	3	425.83	1277.49	TENANT	3	425.83	1277.49	RESIDENTIAL	B	FAIR - POOR	1930-39		CESS
289	8	1085.08	8680.62	TRUST	8	1085.08	8680.62	INSTITUTIONAL	C	FAIR - POOR	1950-59		
290	5	211.24	1056.21	CO-OP SOC	5	211.24	1056.21	RESIDENTIAL	E	FAIR - POOR			
291	6	794.69	4768.11	TRUST	2	794.69	1589.37	COMMERCIAL	A	GOOD - FAIR	1930-39	SIGNIFICANT	
				TRUST	4	794.69	3178.74	INSTITUTIONAL	A	GOOD - FAIR	1930-39	SIGNIFICANT	
292	2	244.04	488.09	OWNERSHIP	2	244.04	488.09	RELIGIOUS	A	FAIR	BEFORE 1900	SIGNIFICANT	CESS
293	2	184.18	368.35	OWNERSHIP	1	184.18	184.18	COMMERCIAL	B	FAIR - POOR	1930-39		CESS
293a	1	184.18	184.18	TENANT	2	184.18	368.35	RESIDENTIAL	B	FAIR - POOR	1930-39		
293a	1	261.96	261.96	TENANT	1	261.96	261.96	RESIDENTIAL	C	FAIR - POOR	1930-39		
294	2	195.90	391.80	TRUST	2	195.90	391.80	INSTITUTIONAL	C	GOOD - FAIR	1930-39		
295	4	231.91	927.64	TRUST	4	231.91	927.64	INSTITUTIONAL	B	FAIR - POOR	1940-49	ART DECO	
296	9	499.63	4496.67	CO-OP SOC	9	499.63	4496.67	RESIDENTIAL	E	FAIR - POOR	1960-69		
297	6	376.30	2257.80	TENANT	6	376.30	2257.80	RESIDENTIAL	D	POOR	1930-39		CESS
298	3	410.51	1231.53	TENANT	3	410.51	1231.53	RESIDENTIAL	C	POOR	1940-49		CESS
299	4	1122.80	4491.20		4	1122.80	4491.20		E				
300	3	3515.12	695.26	TRUST	3	3515.12	695.26	INSTITUTIONAL	A	GOOD - FAIR	BEFORE 1900	SIGNIFICANT	
300a	4	695.25727	695.26	TRUST	4	695.25727	695.26	INSTITUTIONAL	A	GOOD - FAIR	BEFORE 1900	SIGNIFICANT	
301	4	1591.27	6365.06	TENANT	4	1591.27	6365.06	RESIDENTIAL	A	EXT - POOR	1910-1919	SIGNIFICANT	CESS
302	4	727.27	2909.08	TRUST	4	727.27	2909.08	INSTITUTIONAL	A	FAIR - POOR	1900-09	SIGNIFICANT	CESS
303	4	676.93	2707.71	OWNERSHIP	4	676.93	2707.71	RESIDENTIAL	A	POOR	1930-39	SIGNIFICANT	CESS
304	4	583.98	2335.94	TENANT	4	583.98	2335.94	RESIDENTIAL	A	FAIR - POOR	1930-39	SIGNIFICANT	CESS
305	4	682.16	2728.64	TENANT	4	682.16	2728.64	RESIDENTIAL	A	EXT - POOR	1930-39	SIGNIFICANT	CESS
306	5	522.45	2612.23	TENANT	3	522.45	1587.34	RESIDENTIAL	A	FAIR - POOR	1930-39	SIGNIFICANT	
				TENANT	2	522.45	1044.89	INSTITUTIONAL	A	FAIR - POOR	1930-39	SIGNIFICANT	

BLDG DENOM	BLDG TOPO	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	OWNERSHIP	FLOOR DIV	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	BLDG USE	VALUE	BLDG CONDITION	AGE	ART DECO	CESS BLDG
307	5	724.74	3623.70	TRUST	5	724.74	3623.70	INSTITUTIONAL	C	FAIR	1920-29		
308	8	402.96	3223.70	CO-OP SOC	8	402.96	3223.70	RESIDENTIAL	E	GOOD - FAIR	1960-2000		
309	6	344.29	2085.73	CO-OP SOC	6	344.29	2085.73	RESIDENTIAL	E	GOOD - FAIR	1930-39		
309a	3	176.35	529.06	CO-OP SOC	3	176.35	529.06	RESIDENTIAL	E	GOOD - FAIR	1930-39		
310	4	955.26	3821.02	TRUST	4	955.26	3821.02	INSTITUTIONAL	A	GOOD - FAIR	1910-19	SIGNIFICANT	
311	4	635.02	2140.09	OWNERSHIP	4	635.02	2140.09	COMMERCIAL	D	POOR	1930-39		
312	3	284.67	654.01	TENANT	0.25	284.67	71.17	COMMERCIAL	C	POOR	1930-39		CESS
				TENANT	2.75	284.67	782.85	RESIDENTIAL	D	POOR			CESS
313	3	572.62	1717.86	OWNERSHIP	3	572.62	1717.86	RESIDENTIAL	B	FAIR	1920-29		CESS
314	25	396.29	9957.19	CO-OP SOC	25	396.29	9957.19	RESIDENTIAL	E	GOOD - FAIR	1960-2000		
316	6	496.42	2978.50	TENANT	1	496.42	496.42	COMMERCIAL	B	FAIR - POOR	1930-39		CESS
				TENANT	4	496.42	1985.67	RESIDENTIAL	B	FAIR - POOR	1930-39		
				TENANT	1	496.42	496.42	INSTITUTIONAL	B	FAIR - POOR	1930-39		
317a	4	775.04	3100.16	TENANT	4	775.04	3100.16	RESIDENTIAL	D	FAIR - POOR	1930-39		CESS
317	4	775.04	3100.16	CO-OP SOC	4	775.04	3100.16	COMMERCIAL	D	FAIR - POOR	1970-79		
318	8	308.91	2471.25	TENANT	4	308.91	1235.62	RESIDENTIAL	C	FAIR	1930-39		CESS
				TRUST	4	308.91	1235.62	INSTITUTIONAL	C	POOR	1930-39		CESS
319	3	631.17	1893.52	TRUST	3	631.17	1893.52	INSTITUTIONAL	B	POOR	1900-09		CESS
320	5	340.70	1703.49	TENANT	1	340.70	340.70	COMMERCIAL	C	POOR	1930-39		CESS
				TENANT	4	340.70	1362.79	RESIDENTIAL	C	POOR	1930-39		CESS
321	4	154.82	619.27	TENANT	4	154.82	619.27	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
322	5	533.47	2667.34	TENANT	0.5	533.47	266.73	COMMERCIAL	B	FAIR - POOR	1920-29		
				TRUST	3	533.47	1800.40	RESIDENTIAL	B	FAIR - POOR	1920-29		
				TRUST	1.5	533.47	800.20	INSTITUTIONAL	B	FAIR - POOR	1920-29		
323	8	455.12	3641.00	TENANT	4	455.12	1820.50	COMMERCIAL	B	FAIR - POOR	1920-29		CESS
				TENANT	4	455.12	1820.50	RESIDENTIAL	B	FAIR - POOR	1920-29		CESS
324	4	469.01	1876.02	TENANT	1	469.01	469.01	COMMERCIAL	B	FAIR - POOR	1930-39		CESS
				TENANT	3	469.01	1407.02	RESIDENTIAL	B	FAIR - POOR	1930-39		CESS
325	6	369.91	2219.46	TENANT	1	369.91	369.91	COMMERCIAL	B	FAIR - POOR	1930-39		
				TENANT	5	369.91	1849.55	RESIDENTIAL	E	FAIR - POOR	1930-39		
326	2	265.47	630.94	TENANT	2	265.47	630.94	RESIDENTIAL	C	FAIR	1930-39		CESS
327	4	329.94	1319.75	TRUST	4	329.94	1319.75	RESIDENTIAL	C	EXT - POOR	1920-29		CESS
328	4	902.92	3611.86	TENANT	2	902.92	1805.83	RESIDENTIAL	C	EXT - POOR	1920-29		CESS
				TENANT	2	902.92	1805.83	INSTITUTIONAL	C	EXT - POOR	1920-29		CESS
329	4	589.62	2368.47	TENANT	1	589.62	589.62	RESIDENTIAL	B	GOOD - FAIR	1920-29		CESS
				TRUST	3	589.62	1768.86	INSTITUTIONAL	B	GOOD - FAIR	1920-29		CESS
330	4	546.94	2187.75	TENANT	0.5	546.94	273.47	COMMERCIAL	B	FAIR - POOR	1900-09		CESS
				TENANT	3.5	546.94	1914.28	RESIDENTIAL	B	FAIR - POOR	1900-09		CESS
331	4	285.54	1142.17	TENANT	0.5	285.54	142.77	RESIDENTIAL	A	FAIR	1930-39	SIGNIFICANT	CESS
				OWNERSHIP	3.5	285.54	999.40	RESIDENTIAL	A	FAIR	1930-39	SIGNIFICANT	CESS
332	7	353.41	2473.88	TRUST	7	353.41	2473.88	INSTITUTIONAL	C	POOR	1900-09		CESS
333	6	568.61	4548.91	CO-OP SOC	7	568.61	3980.30	RESIDENTIAL	E	FAIR			
				CO-OP SOC	1	568.61	568.61	INSTITUTIONAL	E	FAIR			
333a	3	475.74	1427.23	OWNERSHIP	0.5	475.74	237.87	COMMERCIAL	E	FAIR	1920-29		
				OWNERSHIP	2.5	475.74	1189.36	RESIDENTIAL	E	FAIR	1920-29		
333b	1	256.90	256.90	OWNERSHIP	1	256.90	256.90	COMMERCIAL	E	FAIR	1920-29		
334	5	708.21	3541.04	CO-OP SOC	5	708.21	3541.04	RESIDENTIAL	E	FAIR - POOR	1960-2000		
334a	1	819.26	819.26	OWNERSHIP	1	819.26	819.26	COMMERCIAL	A	FAIR - POOR	1930-39	AD & SIG	
335	1	532.79	532.79	TRUST	1	532.79	532.79	RELIGIOUS	A	EXT - POOR	1990-2000	SIGNIFICANT	
335a	2	209.84	419.67	TRUST	2	209.84	419.67	RESIDENTIAL	A	EXT - POOR	1990-2000	SIGNIFICANT	
335b	8	276.45	2211.62	TRUST	8	276.45	2211.62	RESIDENTIAL	E	EXT - POOR		SIGNIFICANT	
336	4	574.43	2297.73	TRUST	4	574.43	2297.73	COMMERCIAL	C	FAIR - POOR	1920-29		
338	4	406.08	1624.32	TENANT	4	406.08	1624.32	RESIDENTIAL	C	FAIR - POOR	1930-39		
339a	3	2955.40	8866.19	TENANT	3	2955.40	8866.19	RESIDENTIAL	B	FAIR	1930-39	SIGNIFICANT	CESS
339b	4	2934.87	11739.47	TENANT	4	2934.87	11739.47	RESIDENTIAL	B	FAIR	1910-1919	SIGNIFICANT	CESS
339bb	2	1641.78	3083.67	TRUST	1	1641.78	1541.78	RELIGIOUS	B	FAIR	BEFORE 1900	SIGNIFICANT	
339bl	4	237.85	951.41	TRUST	4	237.85	951.41	INSTITUTIONAL	B	FAIR - POOR	1910-1919	SIGNIFICANT	
339bc	4	483.05	1932.19	SEM-GOVT	4	483.05	1932.19	COMMERCIAL	B	FAIR	1910-1919	SIGNIFICANT	
339c	16	812.19	12995.11	CO-OP SOC	16	812.19	12995.11	RESIDENTIAL	B	FAIR		SIGNIFICANT	
339d	2	95.18	190.36	TENANT	2	95.18	190.36	RESIDENTIAL	B	FAIR	1940-49	SIGNIFICANT	CESS
339e	1	168.30	168.30	TENANT	1	168.30	168.30	COMMERCIAL	B	FAIR	1940-49	SIGNIFICANT	CESS
339f	3	993.82	2981.46	TENANT	3	993.82	2981.46	RESIDENTIAL	B	FAIR	1930-39	SIGNIFICANT	
339g	4	1355.59	5422.97	TENANT	4	1355.59	5422.97	RESIDENTIAL	B	POOR	1930-39	SIGNIFICANT	CESS
339h	1	1263.44	1263.44	TENANT	1	1263.44	1263.44	RESIDENTIAL	B	FAIR	1920-29	SIGNIFICANT	CESS
339hc	1	233.55	233.55	OWNERSHIP	1	233.55	233.55	COMMERCIAL	B	POOR	1930-39	SIGNIFICANT	
339hl	1	403.59	403.59	TENANT	1	403.59	403.59	INSTITUTIONAL	B	POOR	1930-39	SIGNIFICANT	CESS
339i	6	818.29	4909.71	TENANT	6	818.29	4909.71	RESIDENTIAL	B	GOOD - FAIR	1950-59	SIGNIFICANT	CESS
339j	2	432.99	865.98	TENANT	2	432.99	865.98	RESIDENTIAL	B	POOR	1940-49	SIGNIFICANT	CESS
339k	11	300.00	3300.00		11	300.00	3300.00	RESIDENTIAL	B		under const.	SIGNIFICANT	CESS
339l	5	177.58	887.90	TENANT	5	177.58	887.90	RESIDENTIAL	B	FAIR	1940-49	SIGNIFICANT	CESS
340	1	927.52	927.52	STATE-GOVT	1	927.52	927.52	COMMERCIAL	A	POOR	1920-29	SIGNIFICANT	
341	3	255.06	765.17	TENANT	0.4	255.06	102.02	COMMERCIAL	D	POOR	1920-29		CESS
				TENANT	2.6	255.06	663.15	RESIDENTIAL	D	POOR	1920-29		CESS
342	4	270.95	1093.80	TENANT	0.5	270.95	135.48	COMMERCIAL	D	POOR	1920-29		CESS
				TENANT	3.5	270.95	948.33	RESIDENTIAL	D	POOR	1920-29		CESS
343	3	389.77	1169.30	TENANT	3	389.77	1169.30	RESIDENTIAL	B	FAIR	1930-39		CESS
343a	4	386.08	1544.33	TENANT	4	386.08	1544.33	RESIDENTIAL	B	FAIR	1930-39		CESS
344	5	228.70	1143.52	OWNERSHIP	5	228.70	1143.52	INSTITUTIONAL	B	FAIR - POOR	1920-29		
344a	4	211.09	844.34	TENANT	4	211.09	844.34	RESIDENTIAL	B	FAIR - POOR	1920-29		CESS
345	4	319.82	1279.27	TENANT	4	319.82	1279.27	RESIDENTIAL	B	POOR	1920-29		CESS
346	3	782.17	2346.50	TENANT	3	782.17	2346.50	RESIDENTIAL	B	POOR	1920-29		CESS

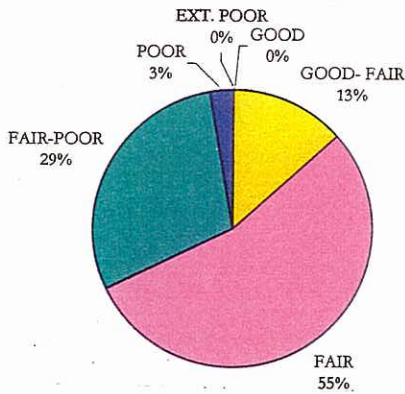
Survey Matrix G

BLDG DENOM	BLDG TOPO	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	OWNERSHIP	BLDG DIV	GROUND COVERAGE (sq. mts)	BUILTUP (sq. mts)	BLDG USE	VALUE	BLDG CONDITION	AGE	ART DECO	CESS BLDG
347	4	372.23	1488.81	TENANT	4	372.23	1488.91	RESIDENTIAL	B	FAIR - POOR	1920-29		CESS
348	2	310.36	620.73	TENANT	2	310.36	620.73	RESIDENTIAL	E	FAIR - POOR	1920-29		CESS
348a	2	310.36	620.73	OWNERSHIP	2	310.36	620.73	RESIDENTIAL	B	FAIR - POOR	1920-29		CESS
349	2	313.60	627.21	TENANT	2	313.60	627.21	RESIDENTIAL	C	POOR	1920-29		CESS
349a	1	313.60	313.60	OWNERSHIP	1	313.60	313.60	RESIDENTIAL	C	POOR	1920-29		CESS
350	3	761.22	2283.66	TENANT	3	761.22	2283.66	RESIDENTIAL	B	FAIR - POOR	1920-29		CESS
351	6	364.43	2186.55	CO-OP SOC	6	364.43	2186.55	RESIDENTIAL	E	FAIR - POOR	1920-29		CESS
352	4	364.03	1456.12	TENANT	4	364.03	1456.12	RESIDENTIAL	B	FAIR - POOR	1900-09		CESS
353	4	386.62	1546.49	TENANT	4	386.62	1546.49	RESIDENTIAL	B	EXT - POOR	1920-29		CESS
353a	1	287.61	287.61		1	287.61	287.61						CESS
354	3	768.57	2305.71	TENANT	3	768.57	2305.71	RESIDENTIAL	B	FAIR - POOR	1920-29		CESS
355	5	1081.65	5408.23	CO-OP SOC	5	1081.65	5408.23	RESIDENTIAL	E	FAIR - POOR	1970-79		CESS
355a	6	954.23	5725.40	TRUST	6	954.23	5725.40	INSTITUTIONAL	E	FAIR - POOR			CESS
356	5	651.51	3257.53	CO-OP SOC	3	651.51	1954.52	COMMERCIAL	B	FAIR - POOR	1970-79		CESS
				TRUST	2	651.51	1303.01	INSTITUTIONAL	B	FAIR - POOR	1950-59		CESS
357	4	930.06	3720.23	TENANT	3	930.06	2790.17	RESIDENTIAL	A	POOR	1950-59	SIGNIFICANT	CESS
				SEMI-GOVT	1	930.06	930.06	COMMERCIAL	A	POOR	1950-59		CESS
357a	3	248.21	744.64	TENANT	3	248.21	744.64	RESIDENTIAL	C	POOR	1950-59		CESS
358	1	298.78	298.78	OWNERSHIP	1	298.78	298.78	COMMERCIAL	D	POOR	1950-59		CESS
359	4	411.99	1647.97	TENANT	4	411.99	1647.97	RESIDENTIAL	A	FAIR	1910-1919	SIGNIFICANT	CESS
360	6	347.87	2087.84	CO-OP SOC	6	347.87	2087.84	RESIDENTIAL	D	POOR	1990-2000		CESS
361	4	332.52	1330.09	TENANT	4	332.52	1330.09	RESIDENTIAL	A	POOR	1910-1919	SIGNIFICANT	CESS
362	3	319.31	957.93	TENANT	3	319.31	957.93	RESIDENTIAL	B	POOR	1910-1919		CESS
362a	2	77.01	154.02	TENANT	2	77.01	154.02	RESIDENTIAL	B	POOR	1910-1919		CESS
363	4	324.69	1296.76	TENANT	4	324.69	1296.76	RESIDENTIAL	B	POOR	1910-1919		CESS
363a	2	68.43	136.85	TENANT	2	68.43	136.85	RESIDENTIAL	B	POOR	1910-1919		CESS
364	5	464.94	2324.71	TENANT	5	464.94	2324.71	RESIDENTIAL	B	POOR	1910-1919		CESS
365	16	449.20	7187.25	CO-OP SOC	16	449.20	7187.25	RESIDENTIAL	E	GOOD - FAIR			CESS
366	3	575.96	1727.87	TENANT	3	575.96	1727.87	RESIDENTIAL	D	POOR	1970-79		CESS
366a	1	575.96	575.96	OWNERSHIP	1	575.96	575.96	RESIDENTIAL	D	POOR	1940-49		CESS
367	5	296.54	1492.68		5	296.54	1492.68				demolished		CESS
368	8	397.37	3178.93	CO-OP SOC	8	397.37	3178.93	RESIDENTIAL	E	FAIR	1970-79		CESS
369	4	294.70	1178.79	TENANT	4	294.70	1178.79	RESIDENTIAL	B	FAIR - POOR	1930-39		CESS
369a	2	154.92	309.84	OWNERSHIP	2	154.92	309.84	RESIDENTIAL	B	FAIR - POOR	1930-39		CESS
370	8	395.32	3162.57	CO-OP SOC	8	395.32	3162.57	RESIDENTIAL	E	FAIR	1970-79		CESS
371	8	404.18	3233.32	OWNERSHIP	8	404.18	3233.32	RESIDENTIAL	E	GOOD - FAIR			CESS
372	8	446.12	3568.99	CO-OP SOC	8	446.12	3568.99	RESIDENTIAL	E	FAIR	1970-79		CESS
373	4	422.48	1689.85	CO-OP SOC	4	422.48	1689.85	RESIDENTIAL	C	FAIR - POOR	1950-59		CESS
374	7	776.95	5438.68	TENANT	0.5	776.95	388.48	COMMERCIAL	B	POOR	1940-49	ART DECO	CESS
				TENANT	6.5	776.95	5050.20	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
375	7	901.26	6308.79	TENANT	5.5	901.26	4958.90	COMMERCIAL	B	POOR	1940-49	ART DECO	CESS
				TENANT	1.5	901.26	1351.88	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
376	8	1934.71	15477.67	SEMI-GOVT	8	1934.71	15477.67	COMMERCIAL	D	FAIR	1970-79		CESS
377	7	645.54	4518.76	OWNERSHIP	7	645.54	4518.76	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
378	1	29.82	29.82	OWNERSHIP	1	29.82	29.82	COMMERCIAL	D	FAIR	petrol pump		CESS
379	6	327.79	1966.73	CENT.GOVT	6	327.79	1966.73	GOVT HOUSING	B	POOR	1950-59	ART DECO	CESS
380	6	644.66	3867.93	CO-OP SOC	1	644.66	644.66	COMMERCIAL	B	POOR	1930-39	ART DECO	CESS
				CO-OP SOC	5	644.66	3223.28	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
381	7	475.32	3327.27	TENANT	0.75	475.32	356.49	COMMERCIAL	B	POOR	1940-49	ART DECO	CESS
				TENANT	6.25	475.32	2970.77	RESIDENTIAL	B	POOR	1940-49	ART DECO	CESS
382	6	487.35	2924.12	CO-OP SOC	0.35	487.35	170.57	COMMERCIAL	B	FAIR	1930-39	ART DECO	CESS
				CO-OP SOC	5.65	487.35	2753.54	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
383	7	528.78	3701.49	CO-OP SOC	0.5	528.78	264.39	COMMERCIAL	B	FAIR	1950-59	ART DECO	CESS
				CO-OP SOC	6.5	528.78	3437.10	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
384	7	487.09	3409.60	TENANT	7	487.09	3409.60	RESIDENTIAL	A	GOOD - FAIR	1930-39	AD & SIG	CESS
385	7	514.85	3603.97	TENANT	1	514.85	514.85	COMMERCIAL	A	POOR	1930-39	AD & SIG	CESS
				TENANT	6	514.85	3089.12	RESIDENTIAL	A	POOR	1930-39	AD & SIG	CESS
386	7	479.37	3355.57	TENANT	5	479.37	2396.84	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
				OWNERSHIP	2	479.37	958.73	RESIDENTIAL	B	FAIR	1950-59	ART DECO	CESS
387	6	435.32	2611.91	TENANT	6	435.32	2611.91	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
388	7	515.03	3605.21	CO-OP SOC	7	515.03	3605.21	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
389	6	401.59	2409.52	CO-OP SOC	6	401.59	2409.52	RESIDENTIAL	B	POOR	1930-39	ART DECO	CESS
390	6	429.25	2575.52	CO-OP SOC	6	429.25	2575.52	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
391	6	523.28	3139.66	TENANT	1	523.28	523.28	COMMERCIAL	B	FAIR	1940-49	ART DECO	CESS
				TENANT	5	523.28	2816.38	RESIDENTIAL	B	FAIR	1940-49	ART DECO	CESS
392	6	575.58	3453.51	CO-OP SOC	6	575.58	3453.51	RESIDENTIAL	B	FAIR	1930-39	ART DECO	CESS
393	6	2168.42	13010.51	TRUST	6	2168.42	13010.51	COMMERCIAL	A	GOOD - FAIR	1930-39	AD & SIG	CESS
394	5	1234.31	6171.54	TRUST	5	1234.31	6171.54	INSTITUTIONAL	A	GOOD - FAIR	1930-39	ART DECO	CESS
395	8	709.54	5676.29	OWNERSHIP	8	709.54	5676.29	INSTITUTIONAL	D	GOOD - FAIR	1970-79		CESS
396	5	1853.46	9267.32	TRUST	5	1853.46	9267.32	COMMERCIAL	A	FAIR	1930-39	AD & SIG	CESS
397	9	409.58	3686.19	TRUST	9	409.58	3686.19	INSTITUTIONAL	D	FAIR	1970-79		CESS
398	3	4889.66	14669.04		3	4889.66	14669.04	RECREATIONAL	D		RG		CESS
399	13	743.71	9668.18	STATE-GOVT	13	743.71	9668.18	INSTITUTIONAL	E	FAIR - POOR	1960-69		CESS
400	8	586.33	4690.61	STATE-GOVT	8	586.33	4690.61	GOVT HOUSING	E	FAIR			CESS
401	1.5	2768.85	4153.27503	CENT.GOVT	1.5	2768.85	4153.27503	COMMERCIAL	C	FAIR	BEFORE 1900		CESS

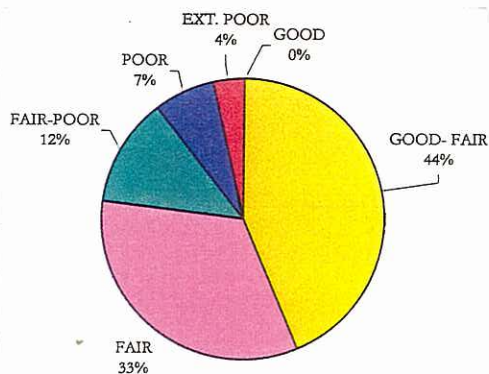
Survey Matrix H



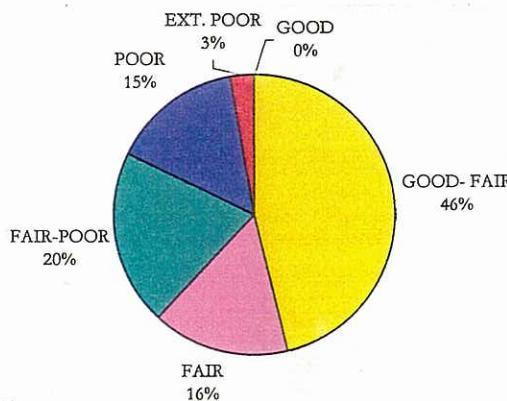
Relation of Ownership Pattern to Condition.



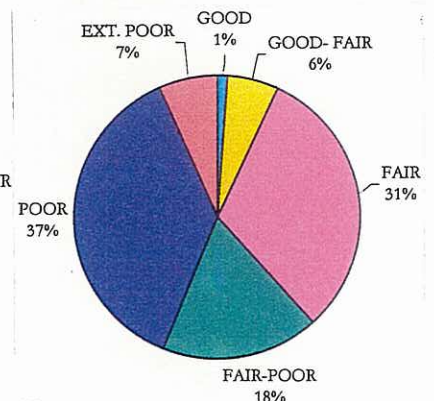
Central Govt. to Condition.



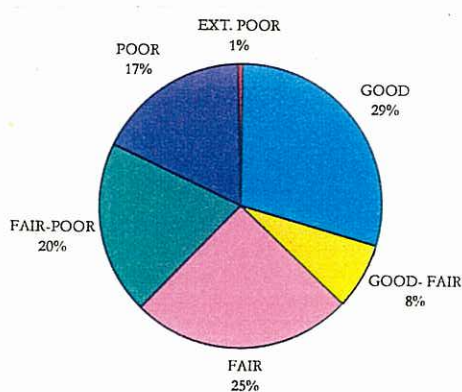
Semi Government to Condition



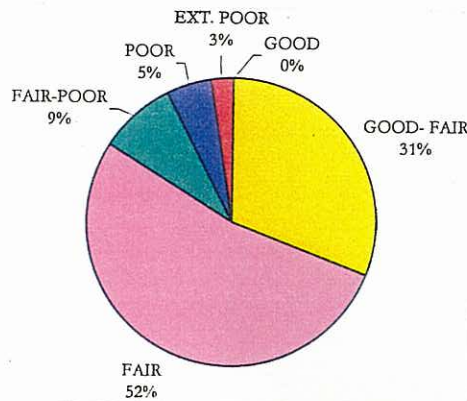
Ownership to Condition.



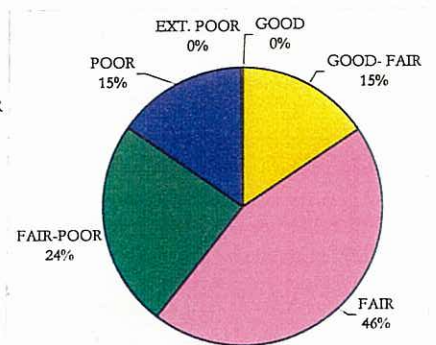
Tenant to Condition.



State Govt. to Condition.



Trust to Condition.



Co-operative to Condition.

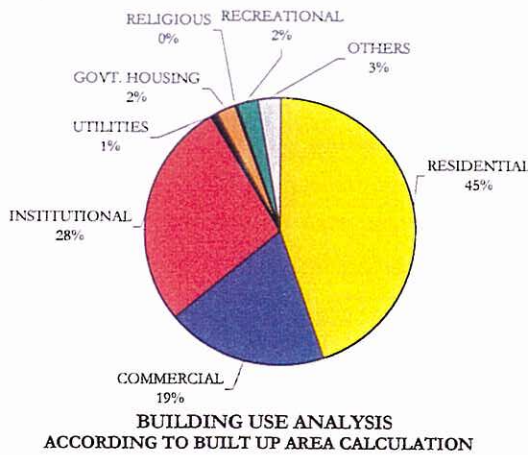
7.2 Analytic Comparison of Surveys

7.2.1 Analysing Condition of buildings with the variables through survey the following patterns emerge.

7.2.1.1 Relation of Ownership Pattern to Condition of Buildings (Refer Figure 46)

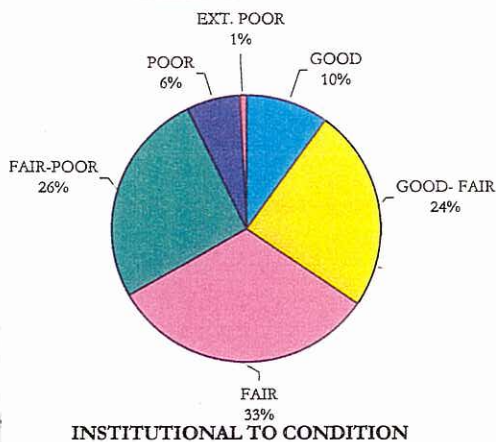
- Co-operative housing societies of tenanted properties fare better in terms of physical condition as compared to purely tenanted properties. Formation of Co-operative housing Society encourages responsibilities of residents towards maintenance and security, resulting in better-built fabric.
- Government (State and Centre) and Semi Government building though moderately maintained have fared out well as most of privately owned properties.
- Trust owned buildings through their regular maintenance programmes have fared better than most other patterns.

Encouraging conversion of tenanted properties to co-operative housing societies might assist in improving the building stock in nearly half of the total building stock.

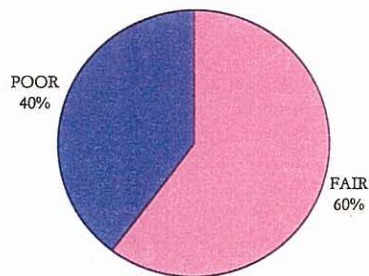


7.2.1.2 Relation of Use of Building to Condition of Buildings. (Refer Figure 47)

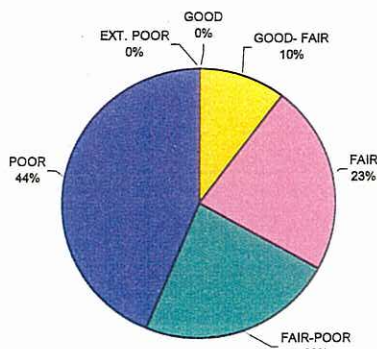
- 1) Institutionally and commercially used buildings have fared better than most other building use patterns.
- 2) Government housing and residentially used building stock shows poor level of building condition probably due to neglect and or as an influence of the ownership patterns (Tenanted properties and Rent Control Act implications)
- 3) Regular maintenance and social as well as structural awareness would ensure a better built environment.



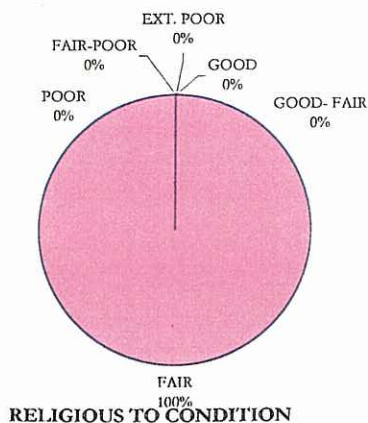
INSTITUTIONAL TO CONDITION



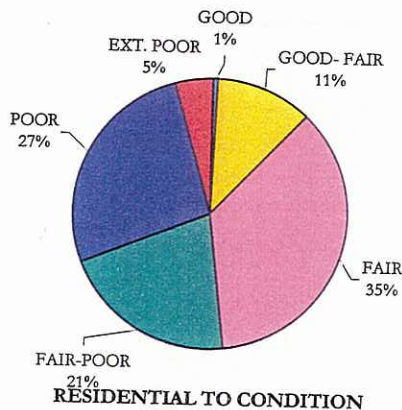
UTILITIES TO CONDITION



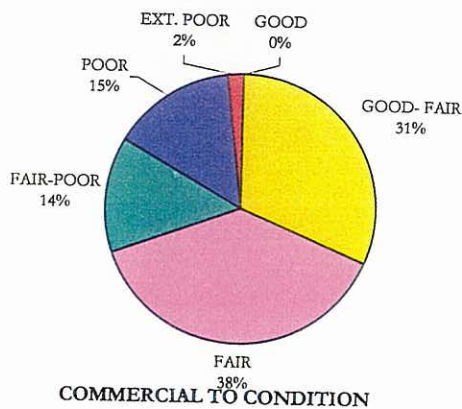
GOVT. HOUSING TO CONDITION



RELIGIOUS TO CONDITION



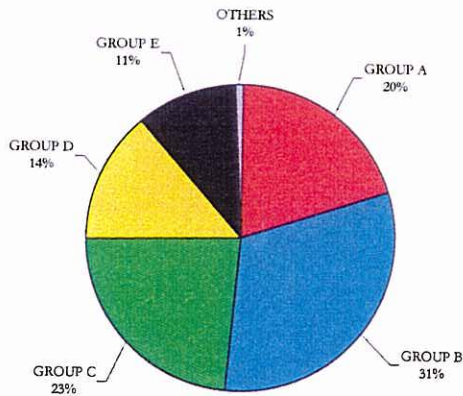
RESIDENTIAL TO CONDITION



COMMERCIAL TO CONDITION

Drg 47. Relation of Use of Buildings to Condition of Buildings

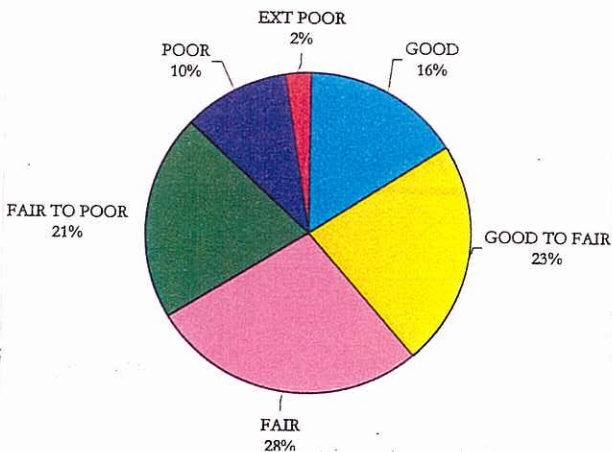
Source RCACC 2000 / 2001



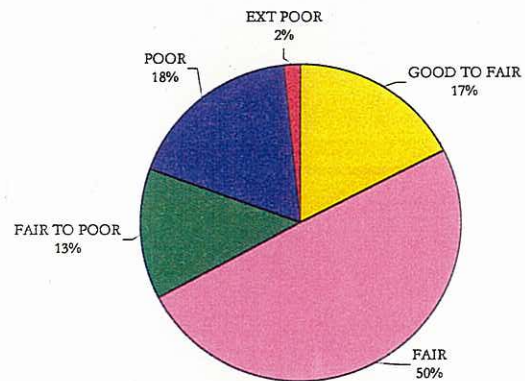
Value Classification (Built Up Area Calculations)

7.2.1.3 Relation of Value Classification of Buildings to Condition of Buildings (Refer Figure 48)

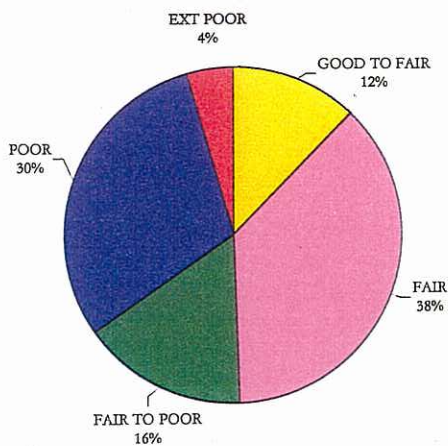
- 1) Group A though the oldest of the building stock and most significant sites in the precinct are in fair condition as compared to rest of the groups.
- 2) 30 % –50 % buildings in Group A and B respectively require urgent attention to improve their condition of the physical fabric.
- 3) Group E consisting of recent developments have as much as 40 % of the building stock in fair –poor /poor state.
- 4) Conservation of significant buildings should entail immediate measures to curb further of the built fabric.



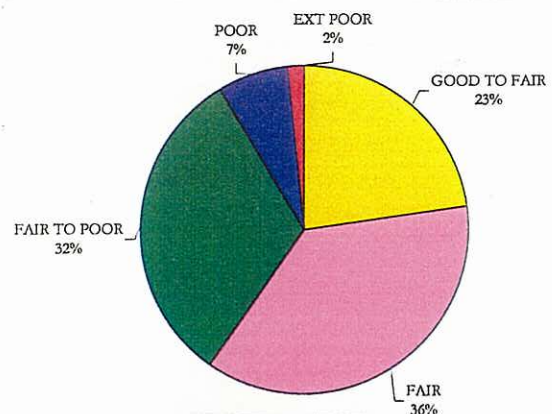
Group A to Condition.



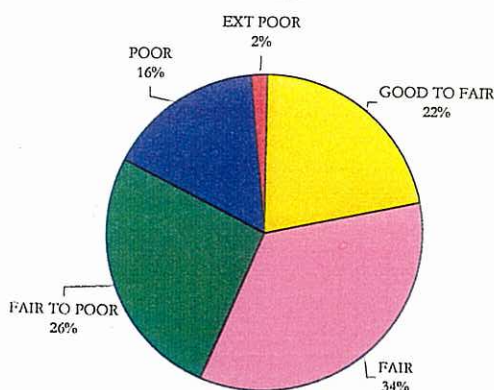
Group D to Condition.



Group B to Condition.



Group E to Condition.

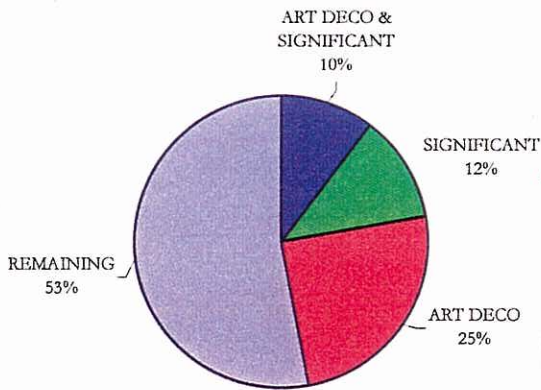


Group C to Condition.

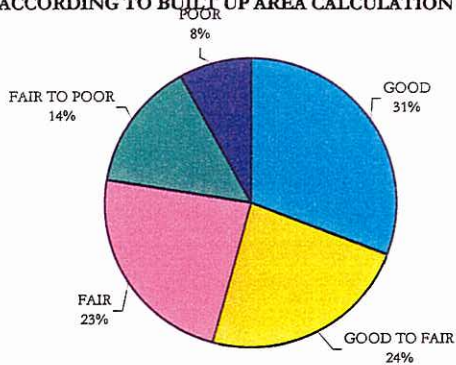
7.2.1.4 Relation of Art Deco / Significant buildings to the Condition of Buildings
(Refer Figure 49)

1) More than 50 % of Art Deco and Significant built stock requires immediate measures to prevent further decay of its built fabric. Climatic onslaught due to proximity to sea front and inadequacies in the RCC constructions are major reasons for dilapidation.

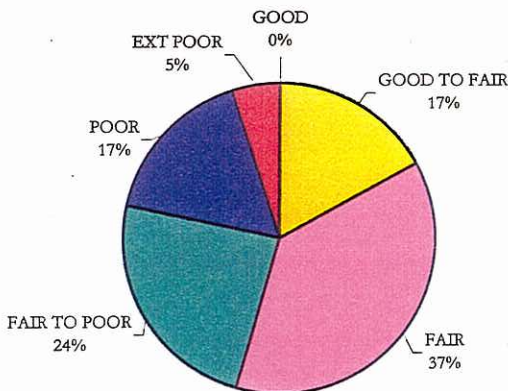
2) More than 35% of the 550 odd buildings have Art Deco characteristic qualifying this precinct to be truly the largest “Art Deco Suburb” in the sub continent.



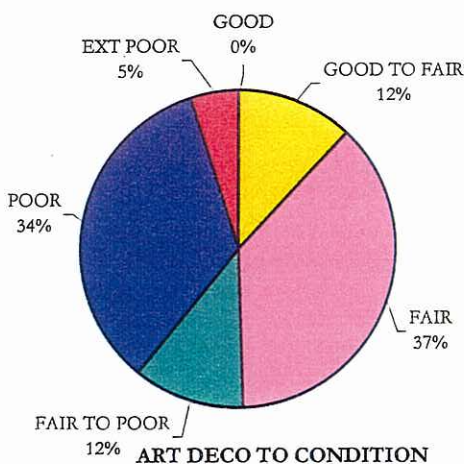
ART DECO AND SIGNIFICANT COMPARED ACCORDING TO BUILT UP AREA CALCULATION



ART DECO AND SIGNIFICANT ON CONDITION



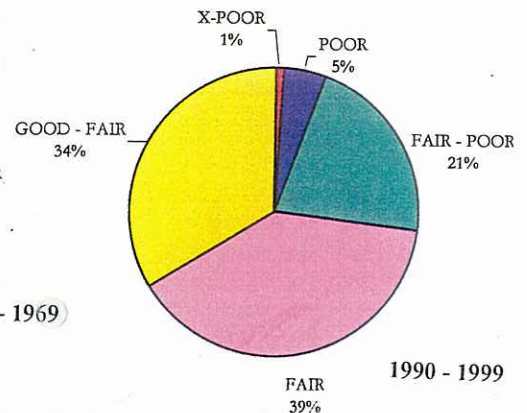
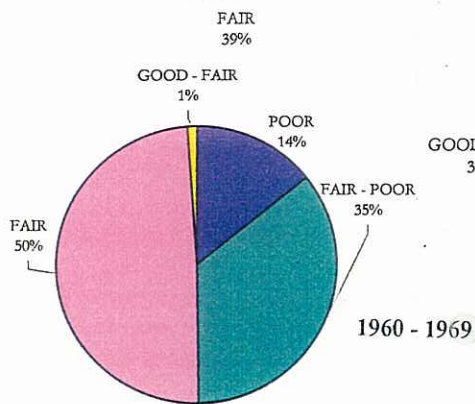
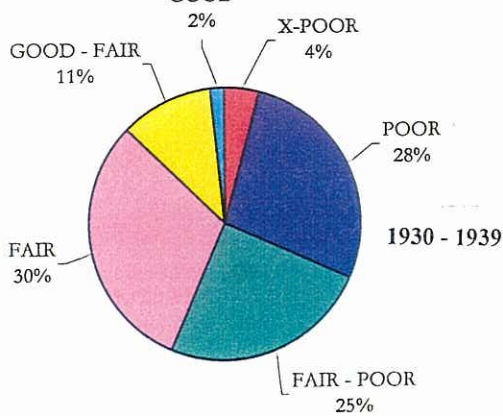
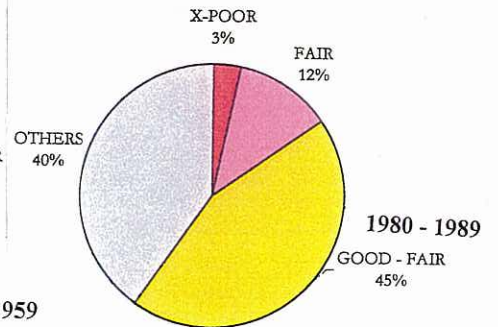
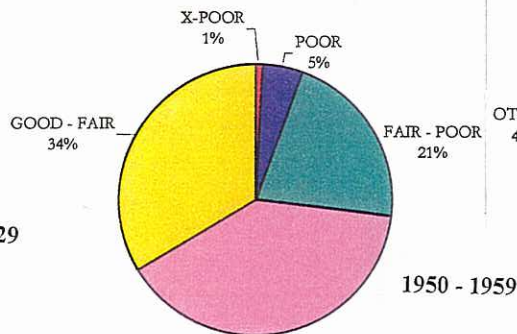
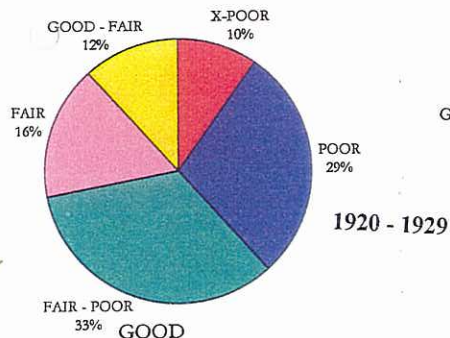
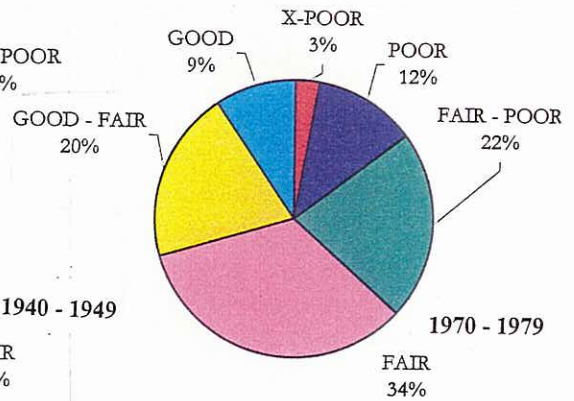
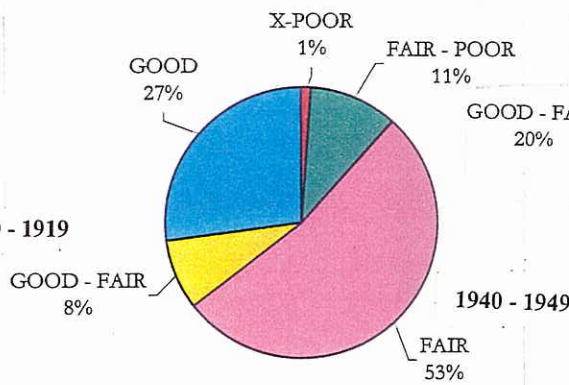
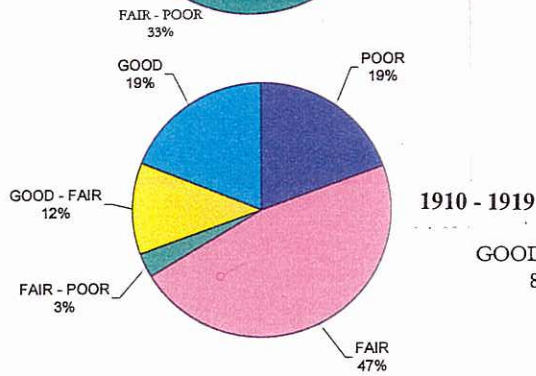
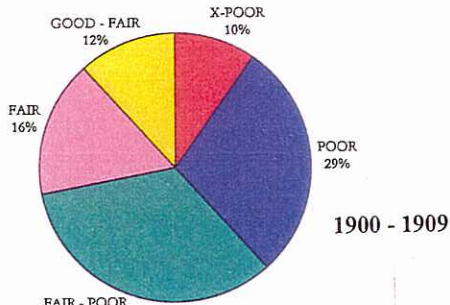
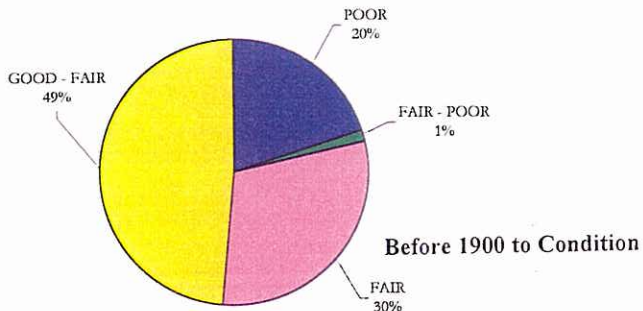
SIGNIFICANT TO CONDITION



ART DECO TO CONDITION

Fig 49. Relation of Art Deco / Significant Buildings to Condition of Buildings
Source RCACC 2000 / 2001

7.2.1.5 Relation of Age of Buildings to Condition of Buildings (Refer Figure 50)



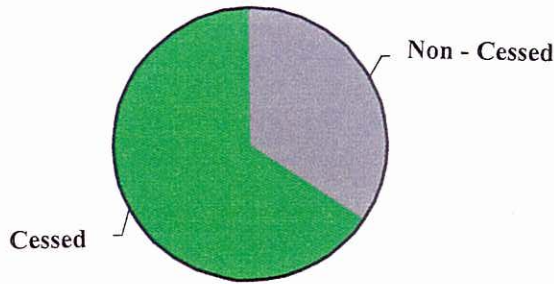
1) Age of buildings does not present a specific correlation to the condition of the built fabric, as it is seen that buildings before the turn of the century are in a fair state as compared to those built in the 30's and 60's.

2) The spurt of building activity in the 30's, in which nearly 1/4th of the buildings in the precinct were constructed, probably led to the neglect of quality control resulting in the poor fabric.

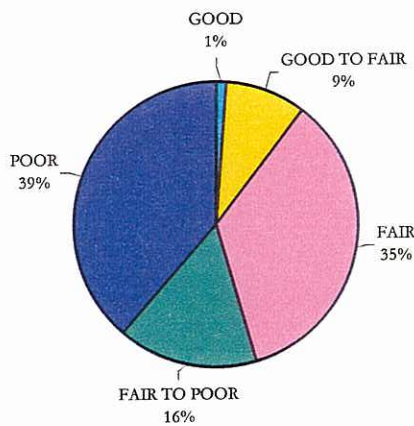
3) Overall the myth of older structures would fail earlier than the new structure does not hold good

Drg 50. Relation of Age of Buildings to Condition of Buildings
Source RCACC 2000 / 2001

7.2.1.6 Relation of Cessed Categorising of Buildings to Condition of Buildings
(Refer Figure 51)



CESSED AND NON-CESSED BUILDINGS ACCORDING TO BUILT UP AREA CALCULATION



CESS TO CONDITION

Drq 51. Relation of Cessed Categorising of Buildings to Condition of Buildings

Source RCACC 2000 / 2001

1) Cessed building constitute 40% of the building stock and more than 66% in actual built up area terms. With more than half of the cessed building stock being fair to poor / poor, the cessed categorisation makes them vulnerable to redevelopment.

2) Cessed building stock also represents a lot of the significant and Art deco buildings, thus laying the onus of Mumbai Housing and Area Development Authority's Repair and Reconstruction Board to take adequate measures to conserve them.

3) Apathy towards older building and complete insensitivity towards fragile building environment and structures has been the trademark of a Repair Board response.

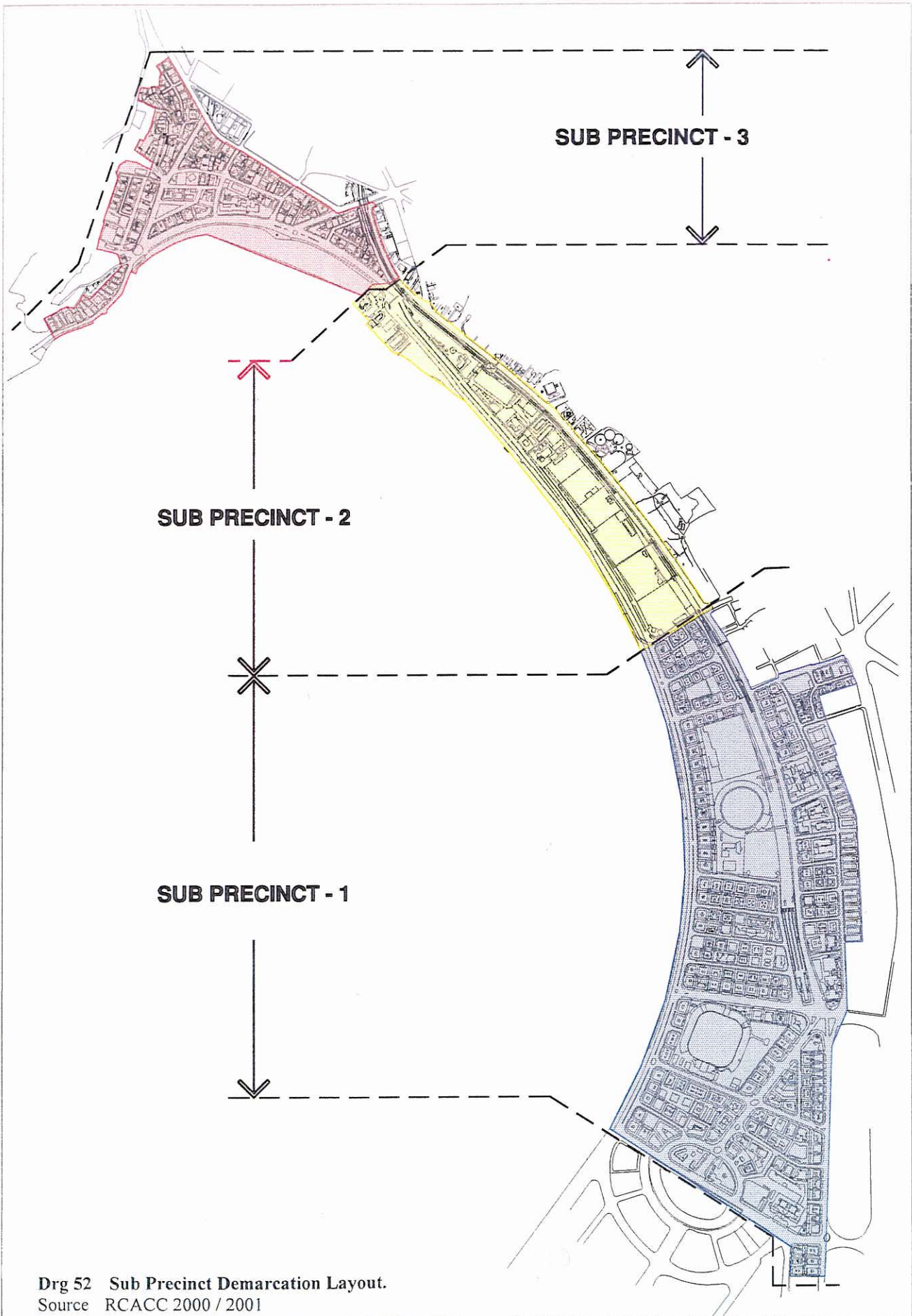
4) Awareness, Education and Application of Optimum Conservation Process could be a way forward. In the present situation with 50 % Bonus FSI awarded for Redevelopment of Cessed Property, these buildings are more vulnerable to damage and destruction

5) To prevent further harm to the essential heritage fabric all listed buildings and precincts whether cessed or non cessed must strictly conform to specific conservation guidelines and architectural controls developed for them.

6) All repairs and redevelopment proposals in this precinct shall be forwarded to the MHCC for their approval and No Objection Certificate.

8

GUIDELINES



Drg 52 Sub Precinct Demarcation Layout.
 Source RCACC 2000 / 2001

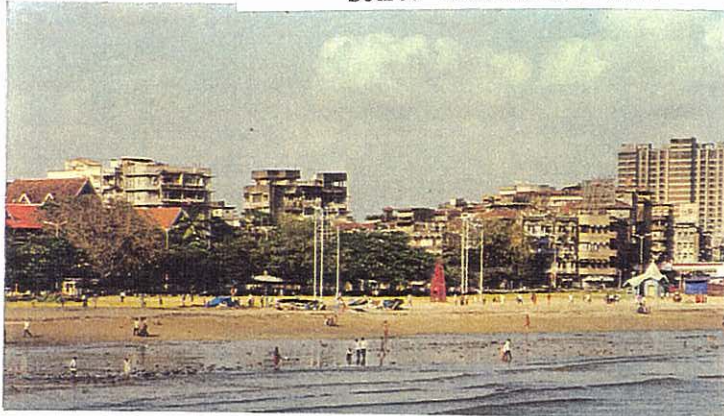
	LEGEND SUBPRECINCT 1 SUBPRECINCT 2 SUBPRECINCT 3	NOTES 1. INFORMATION FOR BOUNDARIES HAS BEEN ESTABLISHED FROM S.P. BOUNDARY AND SURVEY. 2. THIS DRAWING IS THE PROPERTY OF RIZVI COLLEGE OF ARCHITECTURE CONSULTANCY CELL. ANY UNAUTHORIZED COPY OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED. 3. THE DRAWING IS THE PROPERTY OF RIZVI COLLEGE OF ARCHITECTURE CONSULTANCY CELL. ANY UNAUTHORIZED COPY OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED.	PROJECT TEAM Drawing No: _____ Title: SUBPRECINCT PLAN Date: FEBRUARY 2001 Prepared by: I. ARAMELA	<table border="1"> <tr> <th>DATE</th> <th>BY</th> <th>NO.</th> <th>REV.</th> <th>NO.</th> <th>REV.</th> <th>NO.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	BY	NO.	REV.	NO.	REV.	NO.							
			DATE	BY	NO.	REV.	NO.	REV.	NO.									
PROJECT TEAM Drawing No: _____ Title: SUBPRECINCT PLAN Date: FEBRUARY 2001 Prepared by: I. ARAMELA	Study, Research & Documentation of Marine Drive Precinct for MMRHCS 																	



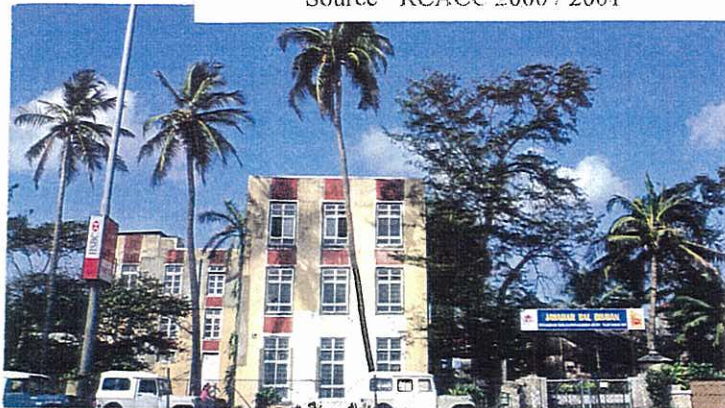
Sub Precinct – 1
Source RCACC 2000 / 2001



Sub Precinct – 2 (Kaivalyatham)
Source RCACC 2000 / 2001



Sub Precinct – 3 (Chowpatty stretch)
Source RCACC 2000 / 2001



Sub Precinct – 2 (Bal Bhavan Building)
Source RCACC 2000 / 2001

8.0 ARCHITECTURAL AND DEVELOPMENT CONTROL GUIDELINES FOR MARINE DRIVE PRECINCT

Based on the Aesthetic Survey (Refer Drg. No. 14) in order to encompass the varied character of the different districts in the Marine Drive Precinct it was essential to divide it in three sub-precincts for which the following development control and architectural guidelines would apply. (Refer Drg. 52 Sub Precinct Demarcation Layout)

Sub-Precinct “1” – Backbay Area from Madame Cama Road to H Road & From Western Railway Headquarters on Veer Nariman Road to Anandilal Podar Marg

Sub-Precinct “2” – Gymkhana Area from H Road to Bal Bhavan Garden at Charni Road Railway Station

Sub-Precinct “3” – From Bal Bhavan Garden to Kamala Nehru Park

8.1 General Guidelines for Marine Drive Precinct

8.1.1 Applicability: -

All structures, including cessed or non-cessed, redeveloped and rehabilitated plots and building in the demarcated precinct boundary shall be developed in accordance with these prescribed guidelines.

8.1.2 Restriction on development / redevelopment/repairs, etc-I

No development or redevelopment or engineering operation or additions, alterations, repairs, renovation including the painting of buildings, replacement of special features or demolition of the whole or any part thereof or plastering of all buildings in the precinct boundary shall be allowed except with the approval of the Mumbai Heritage Conservation Committee (MHCC)

8.1.3 In relation to religious buildings in the said list, the changes, repairs, additions, alterations and renovations required on religious grounds mentioned in sacred texts, or

as a part of holy practices laid down in religious codes shall be treated as permissible, subject to their being in accordance and consonance with the original structure and architecture, designs, aesthetics and other special features thereof as prescribed in these guidelines with approval of the MHCC.

8.1.3 Restrictive Covenants: -

The plots and buildings in the precinct shall follow the covenants and the existing leases, Restrictions existing as on date of this notifications imposed under convenience, terms and conditions on the leasehold plots either by State Governments shall continue to be imposed in addition to Development Control Regulations.

8.1.3.1 However in case of Marine Drive Precinct covenanted clauses have been incorporated in the guidelines (indicated with a * symbol) to avoid duplication and conflict with the heritage preservation interest.

8.1.3.2 The Back Bay reclamation plots were leased with conditions laid under the purview of The Bombay City Land Revenue Act, 1876. Most of the plots of Marine Drive Precinct especially those in Sub Precinct 1 are covenanted properties which have to adhere to the following main points in the leases

(1) Occupancy price; (2) Ground rent; (3) Term of the lease; (4) Renewal of the lease; (5) Treatment of the improvements; (6) Architectural conditions; (7) Rights to minerals; (8) Condition as to deterioration of the land; (9) Cost of lease.

8.1.3.3 Occupancy Price, determined generally through a system of sale by public auction of the right of occupancy of government land for the currency of the lease.

8.1.3.4 Ground rent is the rental payment in all cases of new or renewed leases on basis of a percentage on the selling value of land in the locality.

8.1.3.5 Term of Leases: Leases on the Back Bay Reclamation are granted for terms of 99 years at revised rents, the ground rents for the first term being at 5 per cent of the values of the plots. A free period of one year and a

rebate of 25 per cent, in the ground rent for four years after the free period are given to the lease.

8.1.3.6 Renewal of Lease - The general policy is to provide for renewals at revised rentals thus safeguarding the interest of the state in the unearned increment of the land value and providing at the same time security of tenure on account of investments which ordinarily are very large in the city. *

8.1.3.7 Treatment of Improvement: - In the case of Back Bay leases where architectural conditions are enforced the lessees are required to keep the buildings in repair, insure them, restore them in the event of the fire and at the close of the term hand them without compensation in good repair to Government. *

8.1.3.8 Architectural Conditions: - These are enforced in the leases in the case of important sites (e.g. Esplanade, Marine lines, Chowpatty and the Back Bay Reclamation Estate where a special style of building is required. In the case of other sites the Municipal building rules are considered sufficient security against the erection of insecure or slightly tenements. *

8.1.3.9 No permanent or temporary development permission shall be granted on the Chowpatty foreshore including the beach and the adjoining areas. *

8.1.3.10 No temporary or Semi permanent structure shall be built on any plot, pavements and any other reserved and unreserved site without the prior approval of MHCC

8.1.3.11 In view of the manner in which many buildings on government land are defaced by objectionable signs and notices that all lease contain a clause requiring that all sign-boards, sky-signs, advertisements or any temporary attachments to the exterior of a structure must be approved by the state government* on approval of the Heritage Committee



Western Railway Headquarters (Group A)
Source RCACC 2000 / 2001



Shaikh Sariya Building (Group A)
Source RCACC 2000 / 2001

8.1.4 Grouping of the building in the Marine Drive Precinct: -

Based on the Value Classification Survey (Refer Drg No. 28) of buildings in Marine Drive precincts, the heritage buildings can be further demarcated into the following GROUPS A, B, C, D, E. The meaning of these Groups and basic guidelines for development permissions are specified herein under: -

8.1.4.1 GROUP A: -

8.1.4.1.1 Comprises of representative buildings of the Marine Drive Precinct, embodying excellence in architectural style, design, technology and material usage they are associated with a historical events, personalities, movement or institution. They have been and are prime landmarks of the city.

8.1.4.1.2 Objective :

GROUP - 'A' deserve careful preservation.

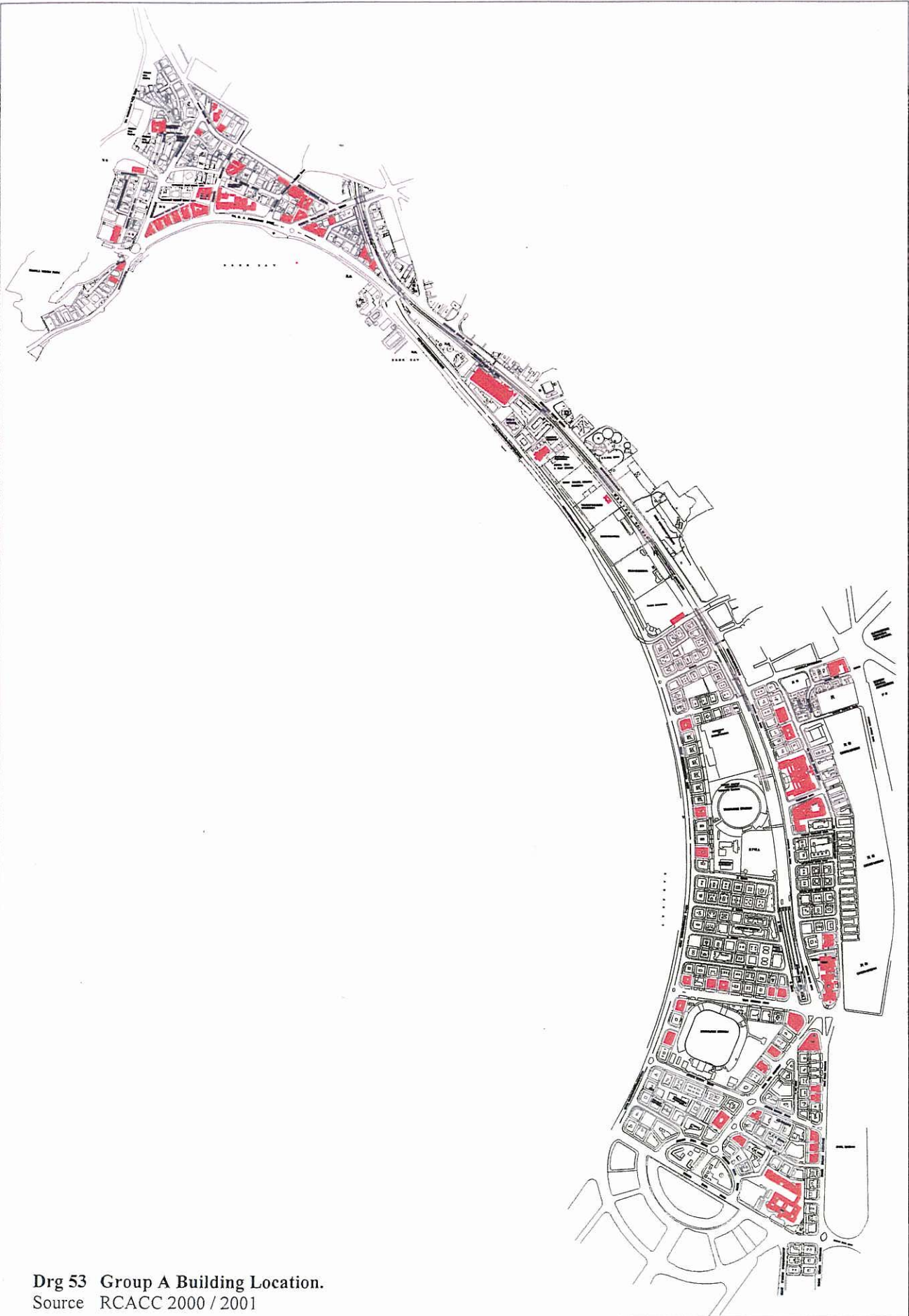
8.1.4.1.3 Scope of Changes: -

No demolition, reconstruction or redevelopment would be permitted on any of these sites. No interventions would be permitted either on the exterior or interior unless it is necessary in the interest of strengthening and prolonging the life of the buildings or precinct or any part of features thereof. For this purpose absolutely essential and minimal changes would be allowed and they must be in accordance with the original.

8.1.4.1.4 Vista / surrounding development:

- All the development in areas surrounding **Group-A** shall be regulated and controlled, ensuring that it does not mar the grandeur of or views from **Group-A** buildings.

Following is the list of buildings and its location in the precinct. (Refer Drg. 53 Group A Building Location)



Drg 53 Group A Building Location.
Source RCACC 2000 / 2001

	<table border="1"> <thead> <tr> <th colspan="2">LEGEND</th> </tr> <tr> <th>NO OF BLDG</th> <th></th> </tr> </thead> <tbody> <tr> <td>81</td> <td>GROUP A</td> </tr> <tr> <td>333</td> <td>GROUP B</td> </tr> <tr> <td>887</td> <td>GROUP C</td> </tr> <tr> <td>77</td> <td>GROUP D</td> </tr> <tr> <td>28</td> <td>GROUP E</td> </tr> </tbody> </table>	LEGEND		NO OF BLDG		81	GROUP A	333	GROUP B	887	GROUP C	77	GROUP D	28	GROUP E	<p>NOTES</p> <p>1. INFORMATION FOR EACH BUILDING HAS BEEN ESTABLISHED FROM A.P. DRAWING & AERIAL PHOTO.</p> <p>2. THIS DRAWING IS THE RESULT OF VISUAL AND PHOTOGRAPHIC SURVEY OF SOME COLLECTED OF ARCHITECTURAL CORRELATION WITH VISUAL AND AERIAL DATA AND THE INFORMATION OBTAINED. AND CORRELATION WITH VISUAL AND AERIAL DATA AND THE INFORMATION OBTAINED. AND CORRELATION WITH VISUAL AND AERIAL DATA AND THE INFORMATION OBTAINED.</p>	<p>VALUE CLASSIFICATION</p>	<p>PROJECT TEAM</p> <p>Client: MMRHCS Architect: [Firm Name] Project Manager: [Name] Date: [Date]</p>	<p>Drawing No: [Number]</p> <p>Scale: 1:1000</p> <p>Prepared by: J. JAMES A.</p>
	LEGEND																		
NO OF BLDG																			
81	GROUP A																		
333	GROUP B																		
887	GROUP C																		
77	GROUP D																		
28	GROUP E																		
<p>Study, Research & Documentation of Marine Drive Precinct for MMRHCS</p> <p>College of Architecture Consultancy Call</p>																			

8.1.4.1.5

List of Group A buildings

Ref No	SR. No.	Name of the buildings	Grid Ref.	Road	Existing Grading	Recom mended Grading
SUB-PRECINCT 1						
396	1	Metro Theatre	X-Z, 338-339	M.G. Road	2A	2A
183	2	Liberty Cinema	P-R, 333-336	Sir Vithaldas Thackersay Marg		2A
180	3	Bombay Hospital (old building)	P-R, 333-330	Sir Vithaldas Thackersay Marg		3
173	4	Accountant General Building	O-R, 326-329	Maharshri Karve Road		3
165	5	Aayakar Bhawan	0-R, 321-325	Maharshri Karve Road		3
394	6	Seth Nasserwanji Manechji Petit Fasli Atashkadeh	P-R, 303-305	Sir Vithal Das Thackersay Marg		2A
87	7	Western Railway Head Quarters	O-R, 300-302	K.M. Munshi Road	2A	1
393	8	Eros Theatre	Q-R, 122-121	K.M. Munshi Road	2A	2A
385	9	Green field	P-O, 117-116	K.M. Munshi Road		2A
384	10	Green court	P-O, 116-115	K.M. Munshi Road		2A
22	11	Empress Court	P-O, 112-111	K.M. Munshi Road		2A
21	12	Rajjab Mahal	O-P, 111-110	K.M. Munshi Road		2A
20	13	Shiv-Shanti Bhavan	O-P, 110-109	K.M. Munshi Road		2A
8	14	Mantralaya		Madam Kama Road		3
31	15	Kasturi Building	H-L, 5-6	J. Tata Road		2A
41	16	Industry House	U-V, 105-106	J. Tata Road		2A
45	17	Ram Mahal	U-V, 110-112	J. Tata Road		2A
62	18	Ketan Bhavan	H-L, 12-12'	J. Tata Road		3
61	19	National Insurance Building	H-L, 10-11	J. Tata Road		2A
65	20	Industrial Assurance Building	H-L,	J. Tata Road		2A
57	21	Soona Mahal Building	B-C, 12-13	S.C. Bose Marg		2A
55	22	Faramrose Court Building	B-C, 9-10	S.C. Bose Marg		3
59	23	Hotel Delamar	B-C, 14-15	S.C. Bose Marg		3
73	24	Ambassador Hotel	D-E, 14-15	Veer Nariman Road		
75	25	Chateau Windsor Hotel	E-F, 14-15	Veer Nariman Road		3
83	26	Resham Bhavan	K-J, 14-15	Veer Nariman Road		3
85	27	Merchant Chamber	K-L, 14-15	Veer Nariman Road		2A
139	28	Keval Mahal	B-C, 27-28	S.C. Bose Marg		3
142	29	Sonawalla Building	B-C, 31-32	S.C. Bose Marg		3
149	30	Shaikh Sariya building	B-C, 38-39	S.C. Bose Marg		3

Ref. No	SR. No.	Name of the buildings	Grid Ref.	Road	Existing Grading	Recom mended Grading
SUB-PRECINCT -2						
250	1	Govt. Printing Press	D-C, 57'-59	S.C. Bose Marg		2A
241	2	Taraporewalla Aquarium	B-C, 55-54	S.C. Bose Marg		3
239	3	Wilson College Gymkhana	B-D, 53-51	S.C. Bose Marg		2A
236	4	Parsi Gymkhana	B-D, 49-48	S.C. Bose Marg	2B	2A
a						

Ref. No	SR. No.	Name of the buildings	Grid Ref.	Road	Existing Grading	Recommended Grading
SUB-PRECINCT -3						
	1	Babulnath Mandir	409-410	Babulnath marg	3	2A
340	2	Municipal Market	415-416	Dadisheth Marg	-	3
331	3	Vasant Niwas	Q-Q', 200-201	Babulnath marg	-	3
335	4	M Sorabji Vacha Gandhi Agiary	201-199	Sitaram Patkar Marg	3	2A
334	5	West- side	198-199	Sitaram Patkar Marg	3	
306	6	Surya Prakash	B-C, 93-92	Dr. N.A. Purandare Marg	3	2A
305	7	Mahaynoos Casbah	B-C, 92-91	Dr. N.A. Purandare Marg	3	2A
304	8	Gokul Niwas	B-C, 91-90	Dr. N.A. Purandare Marg	3	2A
303	9	Noor Mansion	B-C, 90-89	Dr. N.A. Purandare Marg	3	2A
302	10	Orient Club	B-C, 89-88	Dr. N.A. Purandare Marg	3	2A
301	11	Adenwalla building	B-C, 88-87	Dr. N.A. Purandare Marg	3	2A
310	12	Wilson College Students Hostel	C-G, 199-195	Pandita Rambai Marg		2A
291	13	Bhartiya Vidhya Bhavan (Munshi Sadan)	K-P, 195-194	Pandita Rambai Marg		3
300	14	Wilson College	B-C, 86-85	Dr. N.A. Purandare Marg	3	2A
292	15	Dutta Mandir	P-Q, 194-195	Pandita Rambai Marg		2A
285	16	Zaveri House	R-Q, 186-188	S. Patkar Marg	3	3
282	17	Motor House (Metro Motors)	R-Q, 184-185	S. Patkar Marg	3	3
279	18	Nowroz Building	R-Q, 183-184	S. Patkar Marg		3
278	19	Nemani building	R-Q, 182-183	S. Patkar Marg	3	2A
	20	Lakozy Mansion	B-H, 82-83	Dr. N.A. Purandare Marg	3	2A
275	21	Marina Mansion	B-R, 80-181	S. V. P. Marg		2A
270	22	Fulchand Niwas	B-R, 79-78	Dr. N.A. Purandare Marg	3	2A
270	23	Stone building	B-R, 78-77	Dr. N.A. Purandare Marg	3	2A
272	24	Chowpatty chambers	Q-R, 79-78	S. V. P. Marg		3
259	25	Ratnakar Palace	R-B, 71-70	Dr. N.A. Purandare Marg	3	2A
256	26	Zaveri Mansion	R-B, 69-67	Dr. N.A. Purandare Marg	3	2A
359	27	Mulchand Bhavan	B-C, 501-503	Walkeshwar Road		2A
361	28	Arisa Mahal	B-C, 505-504	Walkeshwar Road		2A
357	29	Meher building (New Bombay Garage)	425-424	Dadisheth first cross road		3

8.1.4.2 GROUP-B: -

8.1.4.2.1 Comprises of buildings, possessing special architectural or esthetical merit, cultural or historical value. They are local landmarks comprising of Art deco buildings, contributing to the image and identity of the City. They form the bulk of the art deco content of Marine Drive Precinct lending it scale and character.

8.1.4.2.2 Objective: -

Group - 'B' deserve intelligent Conservation.

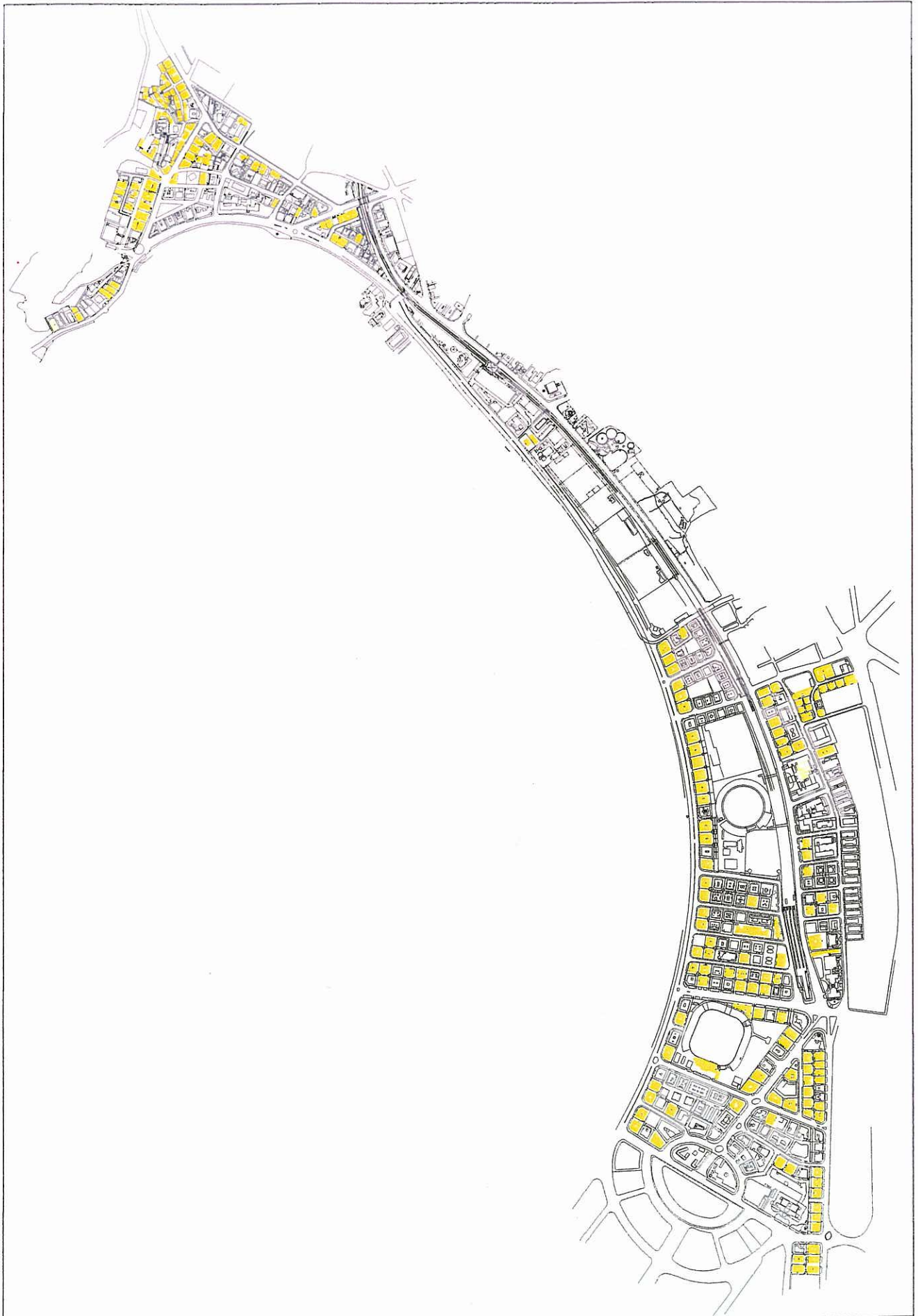
8.1.4.2.3 Internal change and adaptive reuse will be generally allowed, but external changes will be subject to scrutiny. Care would be taken to ensure the conservation of all special aspects of Group-B buildings. In certain circumstances, additional buildings in the same plot or compound could, be allowed provided that the additional building is in harmony with (and does not detract from) existing heritage building(s) or sub precincts especially in terms of height, façade, and setback regulations. Addition on top of the existing building is observed to be harmful for the longevity of the existing structure hence shall not be permitted.

Following is the list of buildings and its location in the precinct. (Refer Drg. 54)



Oval Facing Buildings (Group B)

Source RCACC 2000 / 2001



<p>NORTH SCALE 1:1000</p>	<p>LEGEND</p> <table border="1"> <thead> <tr> <th>NO OF BLDG</th> <th>GROUP</th> </tr> </thead> <tbody> <tr> <td>81</td> <td>GROUP A</td> </tr> <tr> <td>333</td> <td>GROUP B</td> </tr> <tr> <td>137</td> <td>GROUP C</td> </tr> <tr> <td>77</td> <td>GROUP D</td> </tr> <tr> <td>83</td> <td>GROUP E</td> </tr> </tbody> </table>	NO OF BLDG	GROUP	81	GROUP A	333	GROUP B	137	GROUP C	77	GROUP D	83	GROUP E	<p>NOTES</p> <p>1. INFORMATION FOR BMS DIVISION HAS BEEN OBTAINED FROM A/P SHEETS & NOT BOUNDARY.</p> <p>2. THIS DRAWING & THE POSITION OF BUILDING AND THE PROPERTY OF NEW COLLEGE OF DISTANCE EDUCATION TRUST SHALL, UPON SIGNING, BE VALID AND THE ENGINEERING PROFESSIONAL ASSOCIATION SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE INFORMATION SHOWN HEREON. ANY INFORMATION RECEIVED FROM ANY SOURCE IS NOT TO BE RELIED UPON FOR THE PURPOSES OF THIS DRAWING.</p>	<p>VALUE CLASSIFICATION</p>	<p>PROJECT TEAM</p> <p>Principal Architect: [Name] Architect: [Name] Structural Engineer: [Name] Mechanical Engineer: [Name] Electrical Engineer: [Name] Civil Engineer: [Name] Landscape Architect: [Name] Quantity Surveyor: [Name] Project Manager: [Name]</p>	<p>Drawing No: 2000-0000000000-011</p> <p>DATE: 1998/05/01</p> <p>DATE: 1998/05/01</p> <p>Prepared by: J. JAMES A.</p> <p>Study, Research & Documentation of Marine Drive Precinct for MMRHCS</p> <p>RCA College of Architecture Consultancy Cell</p>																				
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Drg 54 Group B Building Location.
 Source RCACC 2000 / 2001

8.1.4.2.4

List of Group B buildings

Ref no	Sr. No.	Name of Building	Grid ref.	Road	Existing Grade	Recommended Grade
SUB-PRECINCT 1						
233	1	Shiv - Prasad Hsg Sty	E-F, 46-47	H- Cross Road		3
231	2	Meghdoot	B-C, 45-47	Netaji S.C. Bose Marg		3
228	3	Shri Shanti Niketan	B-C, 45-46	Netaji S.C. Bose Marg		3
223	4	Parijat Building	B-c, 44-45	Netaji S.C. Bose Marg		3
218	5	Gobind Mahal	B-C, 42-43	Netaji S.C. Bose Marg		3
214	6	Shree Niwas Co-op Society	B-C, 41-42	Netaji S.C. Bose Marg		3
209	7	Bharat Mahal	B-C, 40-41	Netaji S.C. Bose Marg		3
148	8	Al Sabah Court	B-C, 37-38	Netaji S.C. Bose Marg		3
147	9	Bharti Bhavan	B-C, 37-36	Netaji S.C. Bose Marg		3
146	10	Giri Kunj	B-C, 35-36	Netaji S.C. Bose Marg		3
145	11	Matru Chaya Building	B-C, 34-35	Netaji S.C. Bose Marg		3
144	12	Al Jabriya Court	B-C, 33-34	Netaji S.C. Bose Marg		3
143	13	Hem Prabha	B-C, 32-33	Netaji S.C. Bose Marg		3
141	14	Zaner Mahal	B-C, 29-30	Netaji S.C. Bose Marg	3	3
140	15	Keval Mahal	B-C, 27-28	Netaji S.C. Bose Marg		3
138	16	Krishna Mahal	B-C, 26-27	Netaji S.C. Bose Marg		3
121	17	Firdaus Building	B-C, 24-25	Netaji S.C. Bose Marg		3
115	18	Ganga Vihar	B-C, 23-24	Netaji S.C. Bose Marg		3
111	19	Vishwa Mahal	F-G, 23-24	C. Road		3
109	20	Shiv - Sadan	B-C, 21-22	Netaji S.C. Bose Marg		3
101	21	Chateau Marina	B-C, 20-21	Netaji S.C. Bose Marg		3
104	22	Sydnham College	E-H, 20-21	B. Road		3
99	23	Prabhat Building	C-D, 19-18	B.Road		3
89	24	Jyoti Sadan	B-C, 17-18	Netaji S.C. Bose Marg		3
90	25	Anand Niwas	C-D, 17-18	A. Road		3
92	26	Ishwar Bhavan	F-G, 17-18	A. Road		3
94	27	Govt. Law School	J-R, 17-19	E. Road		3
70	28	Podar House	B-C, 15-16	Netaji S.C. Bose Marg		3
72	29	Vasant Sagar	C-D, 15-16	A. Road		3
76	30	Jay Mahal	E-F, 15-16	A. Road		3
78	31	Indus Court	F-G, 15-16	A. Road		3
82	32	Pushpa Kunj	H-J, 15-16	A. Road		3
84	33	Church Gate Mansion	J-R, 15-16	A. Road		3
71	34	Manek Mahal	C-D, 15-14	V. Nariman Road		3
77	35	Raj Mahal	G-F, 15-14	V. Nariman Road		3
79	36	Nagin Mahal	G-H, 15-14	V. Nariman Road		3
81	37	Parekh Mahal	H-J, 15-14	V. Nariman Road		3
200	38	Jehangir Mahal	W-X, 338-339	Cinema Road		3
201	39	Ram Max	V-W, 338-339	Cinema Road		3
199	40	Patel Cahmber	Y-Z, 336-337	Cinema Road		3
198	41	Marine Chambers	X-Y, 336-337	Cinema Road		3
197	42	Dadi Mansion	W-X, 336-337	Cinema Road		3
196	43	Gopal Mansion	U'-W,336-337	Cinema Road		3
195a	44	Jaitirath Mansion	T-U, 336-337	Barrack Road		3
191	45	Meghji Bhavan	T-U, 335-336	Barrack Road		3
192	46	Ruby Mansion	U'-V, 335-337	Barrack Road		3
186	47	Balram Chambers	U'-V, 334-335	Barrack Road		3

185	48	Chemox House	U'-V, 334-333	Barrack Road	3
184	49	Kakkad House	S-U, 334-335	Barrack Road	3
187	50	Karamchand Mansion	T-U, 334-335	Barrack Road	3
188	51	Jasville Building	S-T, 334-335	Sir V. Thakarsey Marg	3
190	52	Sunbeam	S-T, 335-336	Sir V. Thakarsey Marg	3
195	53	Marina House	S-T, 336-339	Sir V. Thakarsey Marg	3
204	54	Marine Chambers	P-R, 338-339	Anandilala Poddar Marg	3
203	55	S.K Jain Girls High School	O-P, 338-339	M.K.Marg	3
193	56	Shri Jorawar Bhawan	O-P, 336-338	M.K.Marg	3
182	57	Queen's Chamber	O-P, 333-335	M.K.Marg	3
181	58	Kala Niketan	O-P, 333-331	M.K.Marg	3
179	59	Edena	O-P, 331-330	M.K.Marg	3
176	60	La Citadel	O-P, 330-329	M.K.Marg	3
159	61	Mansion Belvedere	O-P, 317-319	M.K.Marg	3
158	62	Roxana	O-P, 316-317	M.K.Marg	3
155	63	Sherbanoo	O-P, 315-313	M.K.Marg	3
129	64	Bhaldota Bhavan	O-P, 308-309	M.K.Marg	3
134	65	Shri Niketan	P-Q, 309-311	Marine Line Cross Road NO. 2	3
177	66	West End Hotel	P-R, 329-330	Sir V. Thakarsey Marg	3
131	67	Theosophist Hall	Q-R, 308-309	Sir V. Thakarsey Marg	3
122	68	ACC Cement Building	OP, 303-305	M.K.Marg	3
87a	69	Annexe Of Western Railway HQ.	O-R, 303-302	M.K.Marg	3
15	70	Nariman Building	O-P, 124-125	M.K.Marg	3
12	71	Ivon Hoe	Q-P, 125-126	Jagatnathrao Bhonsale Rd	3
15a	72	Sita Kunj	O-P, 125-126	M.K.Marg	3
16	73	Firuzana	O-P, 123-124	M.K.Marg	3
13	74	Horizon View	Q-P, 124-125	Jagatnathrao Bhonsale Rd	3
64	75	Astoria Hotel	H-L, 13'-12"	J-Tata Road	3
63	76	Airlines Hotel Building	H-L, 12-12'	J-Tata Road	3
59	77	Lotus Court	H-L, 9-10	J-Tata Road	3
58	78	Moti Mahal	H-L, 8-9	J-Tata Road	3
37	79	Ravindra Mansion	H-L, 6-7	J-Tata Road	3
374	80	Prem Court	U-V, 113-115	J-Tata Road	3
377	81	Ritz Hotel	V-R, 117-118	J-Tata Road	3
68a	82	Stadium House	E-H, 13-13'	Veer Nariman Road	3
68	83	Mayfair Building	H-J, 13-13'	Veer Nariman Road	3
66	84	Rehmat Manzil	K-L, 13-13'	Veer Nariman Road	3
56	85	Hotel Sea Green	B-C, 11-12	Netaji-S.C. Bose Marg	3
54	86	James Court	B-C, 8-9	Netaji S.C. Bose Marg	3
28	87	Oceana	B-C, 5-6	Netaji S.C. Bose Marg	3
23	88	Shanti Kutir	B-C, 5-4	Netaji S.C. Bose Marg	3
4	89	Shalimar	B-C, 2-3	Netaji S.C. Bose Marg	3
1	90	Riviera	B-C, 1-2	Netaji S.C. Bose Marg	3
3	91	Common wealth building	E-D, 1-2	Madam Kama Road	3
25	92	Prem Kutir	D-E, 4-5	Babubhai Chinnai road	3
60	93	Cricket building of India	E-F, 8-9	Dinsha Vacha Road	3
375	94	Vasvani Mansion	R-T, 113-116	Dinsha Vacha Road	3
48	95	Mistry Bhawan	T-U, 112-110	Dinsha Vacha Road	3
43	96	Mafatlal House	S-R, 107-108	Road No. 3	3
44	97	ICICI Building	Q-R, 107-108	Road No. 3	3
391	98	Chedda Sadan	P-Q, 121-120	Road No.4	3
388	99	Sneha Sadan	P-Q, 120-118	Road No.4	3

386	100	Lily Court	P-Q, 118-117	Road No.4		3
383	101	Fair Field	P-Q, 117-115	Road No.4		3
381	102	Pankaj Mahal	P-Q, 115-114	Road No.4		3
379	103	Roshera	P-Q, 114-113	Road No.4		3
392	104	Court View	O-P, 120-121	M.K.Marg		3
390	105	Fair Lawn	O-P, 119-120	M.K.Marg		3
389	106	Motabhoy Mansion	O-P, 118-119	M.K.Marg		3
387	107	Swastik Court	O-P, 117-118	M.K.Marg		3
382	108	Windsor House	O-P, 114-15	M.K.Marg		3
380	109	Rajesh Mansion	O-P, 114-113	M.K.Marg		3
19	110	Belvedere Court	O-P, 107-108	M.K.Marg		3
18	111	Oval View	O-P, 106-107	M.K.Marg		3
17	112	Palm Court	O-P, 106-105	M.K.Marg		3
11	113	Ivorine	O-P, 103-104	M.K.Marg		3
10	114	Sunshine	O-P, 103-102	M.K.Marg		3
9	115	Moon Light	O-P, 101-102	M.K.Marg		3

Ref no	Sr. No.	Name of Building	Grid ref.	Road	Existing Grade	Recomm ended Grade
SUB-PRECINCT 2						
244	1	Kaivalya Dham Yogic Centre	B, 55-56	Netaji S.C. Bose Marg		3

Ref no	Sr. No.	Name of Building	Grid ref.	Road	Existing Grade	Recomm ended Grade
SUB-PRECINCT 3						
339	1	Khareghat Colony		Hughes road	3	3
348	2	Ram house	420-419	Dadisheth cross rd no 1		
343	3	Kalewar Mansion	417-418	Babulnath Marg		3
346	4	Rama Prasad	418-420	Babulnath Marg		3
350	5	Anand Mahal	420-421	Babulnath Marg		3
354	6	Seksaria House	421-422	Babulnath Marg		3
356	7	Raj Mayur	424-423	Babulnath Marg		3
345	8	Preyas	418-419	Dadisheth cross rd no 1		
339	9	Ganga Das wada	414-413	Babulnath Marg		
339	10	Dave Farsan Mart	413-412	Babulnath Marg		
339	11	Kirti kunj	412-411	Babulnath Marg	3	3
339	12	Wadia Building	411-410	Babulnath Marg		3
339	13	Nadirshah Dinshah Bldg	410-409	Babulnath Marg		3
339	14	Nadirshah Dinshah Bldg	409-408	Babulnath Marg		3
	15	Prem Puri Building		N. S. Patkar Marg	3	3
344	16	Amit Mehta Hospital/ Rambha Bhuvan	418-419	Dadisheth cross rd no 2		3
353	17	The Retreat	422-421	Dadisheth cross rd no 1		
353	18	Garden View	422-421	Dadisheth cross rd no 1		3
352	19	Garden House	422-421	Dadisheth cross rd no 2		3
369	20	Parekh building	B-C, 513-512	Walkeshwar Road		

362	21	Shri Krishna Mahal	B-C, 506-505	Walkeshwar road		3
363	22	Vijay Mahal	B-C, 507-506	Walkeshwar road		3
364	23	Goenka House	B-C, 507-508	Walkeshwar road		
333	24	22- Vacha Gandhi Rd	198-197	Vacha Gandhi Rd		
333	25	Indira Bhuvan	197-196	Vacha Gandhi Rd		
333	26	United Motors	197-196	Sitaram Patkar Marg		3
330	27	Veer Bhavan	R-Q, 199-200	Sitaram Patkar Marg	3	3
329	28	Smt. Motiben Dalvi Hospital	198-199, R-Q	Sitaram Patkar Marg		3
325	29	Babu Smriti	P-N, 200-201	Babulnath Marg		
324	30	Victor Villa	M-N, 200-201	Babulnath Marg		
323	31	Vazeer Mansion	M-L, 200-201	Babulnath Marg	3	3
322	32	Matru Chaya Building/ (Rukmani Lying in Hospital)	K-L, 200-201	Babulnath Marg		3
321	33	Our Lady North cote Orphanage Trust Bldg no 4	M-L, 200-199	K.M. Munshi Marg		3
319	34	Radha Krishna Mandir	M-L, 199-198	K.M. Munshi Marg		3
326	35	Our Lady North cote Orphanage Trust Bldg no 5	P-N, 200-199	K.M. Munshi Marg		3
313	36	Amar Singh Bungalow	J-H, 198-199	K.M. Munshi Marg		
316	37	Sadguru Sadan	J-H, 200-201	Babulnath Marg		3
293	38	Anand Kanan	Q-R, 195-194	Pandita Ramabai Marg		3
287	39	Mani Bhavan	Q-R, 192-191	Sitaram Patkar Marg	3	3
288	40	Patel House	Q-R, 192-193	Sitaram Patkar Marg	3	3
285	41	Jariwala Mansion	Q-R, 188-190	Sitaram Patkar Marg		
295	42	Merchant Club	H-J, 186-187	K.M. Munshi Marg		3
277	43	Chowpathy Central building	B-J, 81-82	DR. N.A. Purandare marg	3	3
	44	Gandhi Building	K-P, 181-182	S. V. P. Road		3
267	45	Shri Castle	B-K, 75-76	DR. N.A. Purandare marg	3	3
265	46	Beach View	B-K, 74-75	DR. N.A. Purandare marg	3	3
263	47	Ganpat Bhavan	P-S, 73-74	Chowpatty road		3
270	48	Saraf House	K-P, 78-79	S. V. P. Road		3
271	49	Chowpatty View	P-Q, 78-79	S. V. P. Road		3
273	50	Kira Mahal	R-S, 78-79	S. V. P. Road		
274	51	Pant Bhuvan	T-S, 78-79	S. V. P. Road	3	3



Bhartiya Jeevan Bima Nigam (Group C)
Source RCACC 2000 / 2001



Walkeshwar House (Group C)
Source RCACC 2000 / 2001

8.1.4.3 GROUP - C: -

8.1.4.3.1 Comprises of buildings of importance for townscape; they evoke architectural aesthetic or sociological interest though not as much as in **Group-B**. These contribute to determine the character of the locality, and, can also be distinguished by setting on a street line, or special character of the façade and uniformity of height, width and scale.

8.1.4.3.2 Objective: -

Group-C deserves protection of unique features and attributes.

8.1.4.3.3 External and internal changes and adaptive reuse would generally be allowed. Changes can include extension, additional buildings in the same plot or compound provided that extension / additional building is in harmony with and does not detract from the existing heritage building especially in terms of height and/or façade. Reconstruction may be allowed when the building is structurally weak or unsafe or when it has been affected by accidental fire or any other calamity or if reconstruction is required to consume the permissible FSI and no option other than reconstruction is available. Reconstruction may also be allowed in case of those buildings, which attract the provisions of Regulations, 33(6), 33(7), 33(9) and Appendix II and Appendix III of Development Control Regulations, 1991, but shall adhere to the guidelines stated further for cessed and non-cessed properties. Reconstruction may be allowed in those buildings being repaired / reconstructed by MHADA. However, unless absolutely essential, nothing should spoil or destroy and special features or attributes for which it is placed in the Heritage List.

Following is the list of buildings and its location in the precinct. (Refer Drg. 55)



		<p>NOTES ></p> <p>1. THIS DRAWING IS THE PROPERTY OF MARINE DRIVE PRECINCT FOR MMRHCS. IT IS TO BE USED ONLY FOR THE PURPOSES SPECIFIED IN THE CONTRACT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MARINE DRIVE PRECINCT FOR MMRHCS.</p>	<p>VALUE CLASSIFICATION</p>	<p>PROJECT TEAM</p> <p>Client: MMRHCS Architect: [Name] Engineer: [Name] Planner: [Name] Designer: [Name] Contractor: [Name]</p>	<p>Drawing No: MMRHCS-001-011</p> <p>Rev: 1</p> <p>Date: FEBRUARY 2002</p> <p>Prepared by: JASAB A</p>
					<p>Study, Research & Documentation of Marine Drive Precinct for MMRHCS</p> <p>RZVI College of Architecture</p> <p>Consultancy Cell</p>

Drg 55 Group C Building Location.
 Source RCACC 2000 / 2001

8.1.4.1.5 List of Grade C buildings

Plot No	SR. No.	Name of the buildings	Grid Ref.	Road	Existing Grading
SUB-PRECINCT -1					
2	1	Shreyas Building	C-D, 1-2	Madame Cama Road	
5	2	Bharatiya Jeevan Bima Nivas	D-E, 2-3	Jeevan Bima Marg	
6	3	RG	F-L,1-3	Jeevan Bima Marg	
24	4	Bharatiya Jeevan Bima Nivas	G-H,4-5	Jeevan Bima Marg	
30	5	Govt. Office Building (30A, 30B, 30C)	F-H, 5-6	Dinshaw Watcha Road	
42	6	A. I. R. House	U-T 105-108	Road No 3	
45	7	Dadabhoy Nowroji House	Q-P, 107-108	Road No 3	
50	8	M.L.A. Hostel	T-Q,109-111	Road No 3	
88	9	Churchgate Railway Station		Maharishi Karve Marg	
86	10	Indian Express Building	K-L, 15-16	E Road	
80	11	Jai Mahal	G-H,15-16	A Road	
74	12	Sharada	D-E, 15-16	A Road	
93	13	Charle Ville	G-H, 17-18	A Road	
91	14	Jaihind College	D-F, 17-18	A Road	
95	15	Sadhana	G-H,18-19	B Road	
102	16	Alka	C-D,20-21	B Road	
106	17	Government College Hostel	F-H,21-22	C Road	
107	18	Telang Memorial Hostel	D-E,21-22	C Road	
108	19	Aryan Mahal	C-D,21-22	C Road	
112	20	Hari Niwas	E-F,23-24	C Road	
113	21	Pancsheel	D-E,23-24	C Road	
114	22	Vasant Mahal	C-D, 23-24	C Road	
116	23	Agarwal House	G-H,24-25	D Road	
117	24	Jayant Mahal	F-G,24-25	D Road	
118	25	Vishnu Mahal	E-F,24-25	D Road	
119	26	Laxmi Bhavan	D-E, 24-25	D Road	
120	27	Vijay Mahal	C-D,24-25	D Road	
133	28	Central Excise	O-P,309-311	Maharishi Karve Marg	
126	29	Adelphi	O-P,305-307	Maharishi Karve Marg	
127	30	The International	P-Q,305-307	Maharishi Karve Marg	
151	31	Maskati court	O-P,312-313	Maharishi Karve Marg	
152	32	Central Government Office	P-R,312-315	Sir Vithaldas Thackersay Marg	
205	33	Rasik Niwas	C-D,38-39	E-Road	
206	34	Pancharasan Hsg. Society	D-E 38-39	E-Road	
207	35	Patan Jain Mandal	E-F,38-39	E-Road	
208	36	Patan Jain Mandal	F-G,38-39	E-Road	
210	37	Shyam Sadan	C-D,40-41	E-Road	
211	38	Duru Mahal	D-E 40-41	E-Road	
212	39	Western Court	E-F, 40-41	E-Road	
213	40	Badri Peshwar	G-H, 40-41	E-Road	
316	41	Shwasray	G-H,41-41'	E-Road	
217	42	Neelam	G-H, 41'-42	E-Road	
222	43	Neeta	G-H, 42-43	E-Road	
221	44	Avanti	E-G, 42-43	G Road	
220	45	Rajhans	D-E,42-43	G Road	
219	46	Sindhu	C-D,42-43	G Road	
224	47	Krishna Kunj	C-D,44-45	G Road	
225	48	Ahura Mahal	D-E,44-45	G Road	
227	49	Shalimar	G-H,44-45	G Road	
232	50	Kalpana	D-E, 46-47	H Road	

Plot No	SR. No.	Name of the buildings	Grid Ref.	Road	Existing Grading
SUB-PRECINCT-2					
215	1	Marine Lines Station		Subhash Chandra Bose Road	
237	2	Islam Gymkhana	B-D, 49-50	Subhash Chandra Bose Road	
238	3	Hindu Gymkhana	B-D,50-51	Subhash Chandra Bose Road	
240	4	Grant Medical College Gymkhana	B-D,53-54	Subhash Chandra Bose Road	
241A	5	Taraporewala Aquarium(annexe bldg)	B-C,54-54'	Subhash Chandra Bose Road	
241A	6	Taraporewala Aquarium(annexe bldg)	B-C, 54'-55	Subhash Chandra Bose Road	
247	7	Girls Hostel	B-C,56-57	Subhash Chandra Bose Road	
249	8	Jawahar Bal Bhavan	B-C,57-58	Subhash Chandra Bose Road	
	9	Charni Road Railway Station		Subhash Chandra Bose Road	
252	10	R.G.	B-D,60-61	Subhash Chandra Bose Road	
253	11	Mafatlal Swimming Pool	A-B,61-62	Subhash Chandra Bose Road	
254	12	Mafatlal Swimming Pool	A-B,62-63	Subhash Chandra Bose Road	
174	13	Bombay City Ambulance Corps	S-V,327-326	Sir Vithaldas Thackersay Marg	
178	14	Bombay Hospital	S-V,329-332	Sir Vithaldas Thackersay Marg	
186	15	Balram Chambers	U'-V,334-335	Barrack Road	
189	16	Pearl Mansion	O-P,335-336	Maharishi Karve Marg	
194	17	Lotus House	P-R,336-338	Sir Vithaldas Thackersay Marg	
96	18	Sahakar	F-G,18-19	B Road	
Plot No	SR. No.	Name of the buildings	Grid Ref.	Road	Existing Grading
SUBPRECINCT 3					
255	1	P.H.	A-B, 63-66	Dr. N.A.Purandare Marg	
257	2	Chawla Along Rly. Tracks	T-U 67-69	Dr. N.A.Purandare Marg	
258	3	Chawla Along Rly. Tracks	T-U, 69-70	Dr. N.A.Purandare Marg	
258	4	Chawla Along Rly. Tracks	T-U,70-71	Dr. N.A.Purandare Marg	
258	5	Chawla Along Rly. Tracks	T-U, 71-74	Dr. N.A.Purandare Marg	
261	6	Malabar View	B-K, 72-73	Dr. N.A.Purandare Marg	
262	7	Puranadare Maternity And Gynaec Hospital	B-K, 73-74	Dr. N.A.Purandare Marg	
263	8	Chowpatty terrace	P-S,76-75	Dr. N.A.Purandare Marg	
264	9	Kamla Nivas	P-S,73-74	Dr. N.A.Purandare Marg	
265	10	Suman House	P-S,74-75	Dr. N.A.Purandare Marg	
269	11	Vasant Nivas A wing	S-T, 73-74	Dr. N.A.Purandare Marg	
	12	Chawls Along Rly. Track	T-U,77-79	Dr. N.A.Purandare Marg	
276	13	Sukhsagar co-op housing soc.	P-R,181-182	S. Patkar Road	
281	14	Lakosy Mansion	H-J184-184'	Dr. N.A.Purandare Marg	
281	15	Jetabhai Gobind Building	H-J, 184'-184''	Dr. N.A.Purandare Marg	
283	16	Rasik Niwas/Kastur Niwas	K-R, 186-187	K.M.Munshi Marg	
298	17	Ghela Bhai Mansion	H-J, 190-192	K.M.Munshi Marg	
289	18	Bharatiya Vidya Bhavan	K-P, 192-193	S. Patkar Road	
293	19	Motor House	Q-R, 194-195	S. Patkar Road	
333	20	Dar- Ul- Muluk	S-T,196-197	Pandita Ramabai Marg	
336	21	Ratan Tata Institute	R-S, 201-202	Pandita Ramabai Marg	
338	22	Yogesh Bhavan	S-T,203-204	S. Patkar Road	
	23	Babulnath Chawl	E-F,410-414	Babulnath Road	
	24	Babulnath Chawl	E-F, 410-414	Babulnath Road	
328	25	Ajinkya Hospital	Q-R,917-196	S. Patkar Road	
327	26	Pathare Prabhu Charity	Q-P,196-197	Pandita Ramabai Marg	
312	27	Soni Building	H-J, 196-197	Babulnath 1 st Cross Lane	

307	28	Gilbert Building	F-G,200-201	Balbulnath 2 nd Cross Lane
320	29	L N H Orphanage Building 2	K-L,199-199'	Babulnath Road
320	30	L N H Orphanage Building 3	K-L,199-200	Babulnath Road
326	31	L N H Orphanage Building 5	N-P, 199-200	Babulnath Road
326	32	D. M. Chawl	N-P, 198-199	Babulnath Road
349	34	Raghavji Niwas	C-H,420-421	Dadishet 2 nd Cross Road
373	35	Walkeshwar House	B-C,516-517	Walkeshwar Marg
309	36	Anand Bhavan	F-G,199-200	Babulnath 1 st Cross Lane
318	37	L N H Orphanage Building 1	K-P,198-197	K.M.Munshi Marg



Doshi Palace (Group E)
Source RCACC 2000 / 2001

8.1.4.4 Group D & E: -

8.1.4.4.1 Comprises of buildings in the precinct which have already transformed, but insensitive reconstruction and redevelopment shall destroy the essential integrity, scale and character of the adjoining **Group A, B, & C** buildings in the precinct.

8.1.4.4.1 Objective: -

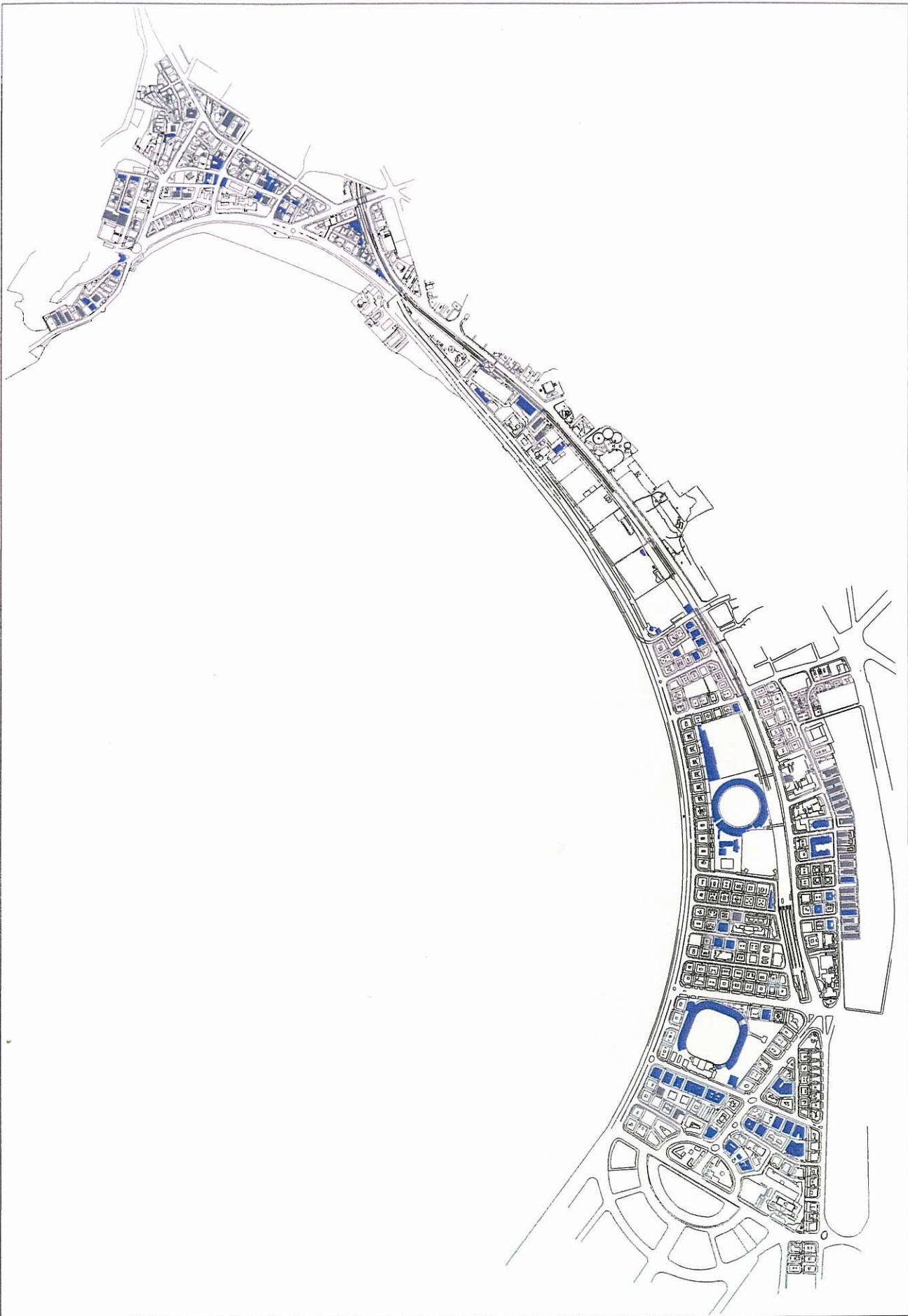
Group D & E Deserves controlled development to blend with the existing fabric.

8.1.4.4.2 External and internal changes, adaptive reuse, reconstruction and redevelopment shall be under a strict height, setback and architectural guidelines.

(Refer Drg. No.56)



Petroleum House (Group D)
Source RCACC 2000 / 2001



NORTH

Scale: 1:1000

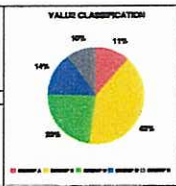
LEGEND >

NO OF BLDGS	GROUP
81	GROUP A
223	GROUP B
137	GROUP C
77	GROUP D
23	GROUP E

NOTES >

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2. THIS DRAWING IS THE PROPERTY OF MARINE DRIVE PRECINCT FOR MMRHCS. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF MARINE DRIVE PRECINCT FOR MMRHCS IS STRICTLY PROHIBITED.



PROJECT TEAM

Architect: [Name]

Structural Engineer: [Name]

MEP Engineer: [Name]

Quantity Surveyor: [Name]

Cost Consultant: [Name]

Project Manager: [Name]

Drawing No: RCACC/001/01

Rev: 1

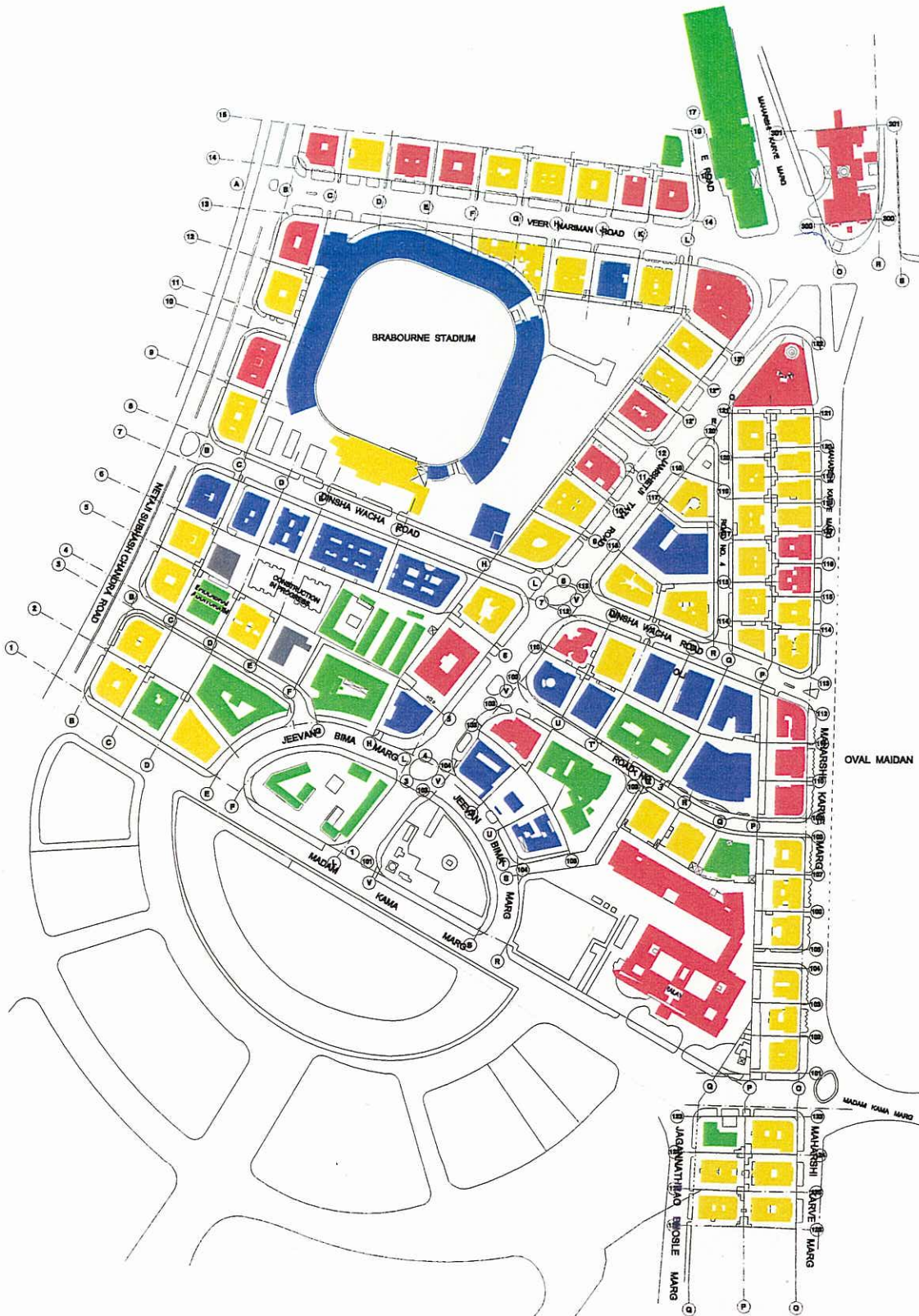
Prepared by: I. ARAB

Study, Research & Documentation of Marine Drive Precinct for MMRHCS

RCA College of Architecture

Consultancy Cell

Drg 56 Group D & E Building Location.
Source RCACC 2000 / 2001



<p>NORTH SCALE 1:4000</p>	<p>LEGEND</p> <ul style="list-style-type: none"> GROUP A GROUP B GROUP C GROUP D GROUP E 	<p>NOTES</p> <p>1. DIMENSIONS FOR BASE ENGINEERS HAS BEEN EXTRAPOLATED FROM BP WITHIN A SITE BOUNDARY.</p> <p>2. THIS DRAWING & THE LEGEND IT CARRIES ARE THE PROPERTY OF RIZVI COLLEGE OF ARCHITECTURE CONSULTANCY CELL. THEY ARE BENTLY LOAN AND THE ENGINEERING PROFESSIONAL JUDGMENT THAT THEY WILL NOT BE REPRODUCED, COPIED, LOANED, EXEMPTED FOR ANY USE, EXCEPT AS THE LATTER MAY BE PERMITTED BY ANY WRITEN CONSENT GIVEN UNDER TO THE ENGINEER.</p>	<p>PROJECT TEAM</p> <p>Client: MMRHCS Consultant: RIZVI COLLEGE OF ARCHITECTURE CONSULTANCY CELL Project Co-ordinator: ANAND A. Designer: ANAND A. Checker: ANAND A. Approver: ANAND A.</p>	<p>Drawing No: Title: SUPPLEMENT 1 Date: FEBRUARY 2000 Prepared by: ANAND A.</p>	<p>REVISION</p> <table border="1"> <tr> <td>R1</td> <td>R2</td> <td>R3</td> <td>R4</td> <td>R5</td> <td>R6</td> <td>R7</td> <td>R8</td> <td>R9</td> </tr> </table>	R1	R2	R3	R4	R5	R6	R7	R8	R9
			R1	R2	R3	R4	R5	R6	R7	R8	R9			
<p align="center">Study, Research & Documentation of Marine Drive Precinct for MMRHCS</p> <p align="center">RIZVI College of Architecture Consultancy Cell</p>														



LEGEND

	GROUP A
	GROUP B
	GROUP C
	GROUP D
	GROUP E

SCALE

0 50 100 200 300

NORTH

NOTES

1. INFORMATION FOR OVERLAP AREAS AND CROSS-SECTIONAL PLOTS IS SHOWN IN RED.

2. INFORMATION FOR OVERLAP AREAS AND CROSS-SECTIONAL PLOTS IS SHOWN IN RED.

3. INFORMATION FOR OVERLAP AREAS AND CROSS-SECTIONAL PLOTS IS SHOWN IN RED.

4. INFORMATION FOR OVERLAP AREAS AND CROSS-SECTIONAL PLOTS IS SHOWN IN RED.

5. INFORMATION FOR OVERLAP AREAS AND CROSS-SECTIONAL PLOTS IS SHOWN IN RED.

PROJECT TEAM

Working Title: MARINE DRIVE PRECINCT 14
 Date: 1 FEBRUARY 2006
 Prepared by: ASHARD A

REVISIONS

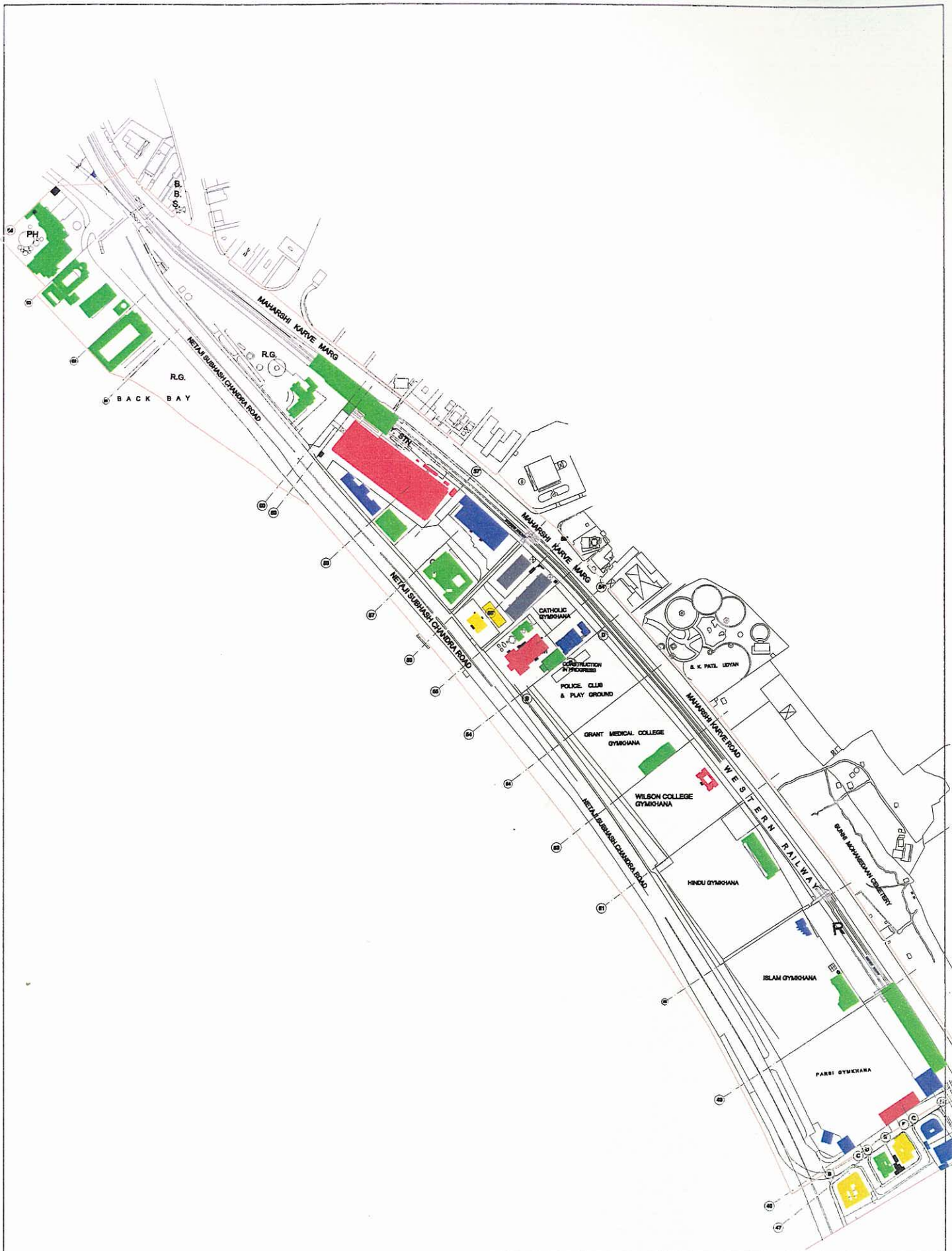
NO.	DATE	DESCRIPTION
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10	10	10

Study, Research & Documentation of Marine Drive Precinct for MMRHCS

RZI College of Architecture
 Consultancy Cell

RCA
 CC

Drp 58 Value Classification for Part Sub Precinct – I
 Source RCACC 2000 / 2001



	LEGEND GROUP A GROUP B GROUP C GROUP D GROUP E	NOTES INFORMATION FOR THIS DRAWING HAS BEEN ESTIMATED FROM A PLYTHOPE & BARK DRAWING. THIS DRAWING & THE CONTENTS THEREOF ARE THE PROPERTY OF COLLEGE OF ARCHITECTURE. ANYONE WHOSE WILL NOT BE RESPONSIBLE FOR THE CONTENTS OF THIS DRAWING. ANYONE WHOSE WILL NOT BE RESPONSIBLE FOR THE CONTENTS OF THIS DRAWING. ANYONE WHOSE WILL NOT BE RESPONSIBLE FOR THE CONTENTS OF THIS DRAWING.	PROJECT TEAM Drawing No: 002-000000-001-011 Title: STAGE A Date: 1 FEBRUARY 2001 Prepared by: J. ANAND A	REVISION <table border="1"> <tr> <th>NO</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO	DATE	DESCRIPTION															
					NO	DATE	DESCRIPTION															
Study, Research & Documentation of Marine Drive Precinct for MMRHCS 																						

Drp 59 Value Classification for Sub Precinct – 2
 Source RCACC 2000 / 2001



Drg 60 Value Classification for Part Sub Precinct - 3
 Source RCACC 2000 / 2001

		<p>NOTES</p> <p>1. INFORMATION FOR THIS DRAWING HAS BEEN RETRIEVED FROM R.P. SHEETS A AND B ONLY.</p> <p>2. THIS DRAWING IS A NEW ISSUE OF COURTESY AND THE PROPERTY OF ARCHITECTS OF MARINE DRIVE CONSULTANCY CELL. ANY AND ALL RIGHTS OF LAND AND THE DRAWINGS CONTAINED HEREIN SHALL REMAIN THE PROPERTY OF ARCHITECTS OF MARINE DRIVE CONSULTANCY CELL. ANY AND ALL RIGHTS OF LAND AND THE DRAWINGS CONTAINED HEREIN SHALL REMAIN THE PROPERTY OF ARCHITECTS OF MARINE DRIVE CONSULTANCY CELL.</p>	<p>PROJECT TEAM</p> <p>Principal Architect: J. ASHOK A.</p> <p>Project Architect: J. ASHOK A.</p> <p>Architect: J. ASHOK A.</p> <p>Structural Engineer: J. ASHOK A.</p> <p>MEP Engineer: J. ASHOK A.</p> <p>Interior Designer: J. ASHOK A.</p> <p>Site Engineer: J. ASHOK A.</p> <p>Quantity Surveyor: J. ASHOK A.</p> <p>Cost Estimator: J. ASHOK A.</p> <p>Project Manager: J. ASHOK A.</p>	<p>Drawing No: 100 - 1000</p> <p>Revision: 01 02 03 04 05 06 07 08 09</p>
				<p>100 200 300 400</p>
<p>Study, Research & Documentation of Marine Drive Precinct for MMRHCS</p>		<p>RZI College of Architecture Consultancy Cell</p>		<p>RCA CC</p>

8.1.5 Grant of Transferable Development Rights in Cases of Loss of Development Rights. (Refer Section 8.2.30)

If any application for development is refused under this Regulation or conditions are imposed while permitting such development which deprive the owner/lessee of any unconsumed F.S.I. the said Owner/lessee shall be compensated by grant of Development Rights Certificate (hereinafter referred to as "TDR") of the nature set out in Development Control Regulation No.34 and Appendix VIIA and as may be prescribed by Government from time to time. The TDR from heritage buildings in the Island City may also be consumed in the same ward from which it originated. The extent of TDR Certificates to be granted may be determined by the Commissioner, if required in consultation with the Heritage Conservation Committee and will not be awarded unless sanctioned by Government.

8.1.6 Checklist of Documents Required for Submission to Heritage Committees' N.O.C.

8.1.6.1 Owners letter of application inclusive of appointment of architect /licensed surveyor confirming to abide terms and conditions of the N.O.C. to be issued by the heritage committee and faithful compliance of the said conditions according to which permission is to be granted.

8.1.6.2 Set of coloured photographs of the building in 4 different angles as well as photographs of the surrounding buildings to show existing structures / architecture. Photomontage of street and surroundings buildings (upto 100 metre radius). Photographs of architectural/sculptural details and affected parts (if any)

8.1.6.3 Complete set of measured drawings of existing building including architectural features completely in accordance and matching with existing /surrounding and complimentary to existing architecture.

8.1.6.4 Set of detailed drawing showing proposed additions & alterations

/reconstruction including full details of architectural features proposed, matching with existing/surrounding and complimentary to existing architecture. (list stated below)

8.1.6.5 Property registered card or any other document to show ownership of the property/structure.

8.1.6.6 Zonal remarks from Executive Engineer (DP) of the municipal corporation.

8.1.6.7 Remarks for road regular line from the Executive Engineer (traffic) of the municipal corporation.

8.1.6.8 Scaled model of the existing building and the adjoining buildings in 100 Mts. radius.

8.1.6.9 Scaled drawings: -

a) Location plan	1:200
b) Site plans	1:100
c) All floor plans	1:50
d) Roof plan	1:50
e) Area Line Diagrams with Area calculations	1:50
f) Lift block and water tank plan / details	1:25
g) Reflected Ceiling plan	1:50
h) Structural framing plan	1:50
i) Elevations of all sides with adjoining buildings	1:50
Sections	
j) Longitudinal and cross section with adjoining buildings	1:50
Section through toilets,	1:50
Section through staircase block	1:50
Section through lift blocks	1:50
Toilet details & Flooring details	1:25
All Elevational and Sectional	1:10
Details of elements on the external façade Articulated railing / balustrade / door-window details	
Main entrance detail / compound wall detail	1:10

8.1.6.9 Complete set of structural drawings and details including detailed specification with certificate of structural stability from the structural consultant.

8.1.6.10 Complete set of service drawings and details including detailed specifications of

HVAC, water supply, drainage, electric supply, lighting, and fire fighting and building management systems.

8.1.6.11 When submitting the structural drawings (all plans, elevations, sections and details of the buildings) the architects / structural consultants shall supply information regarding the safe working stresses for steel and concrete assumed by them in calculating the dimension of the RCC structural members of the building, and shall also quote the authority they follow in the designing of the RCC members.

8.1.6.12 The above-mentioned after execution shall be submitted in as built drawings and specifications in triplicate.

8.2 Regulation for Redevelopment / Reconstruction / Repairs and Rehabilitation of Buildings in the Precinct

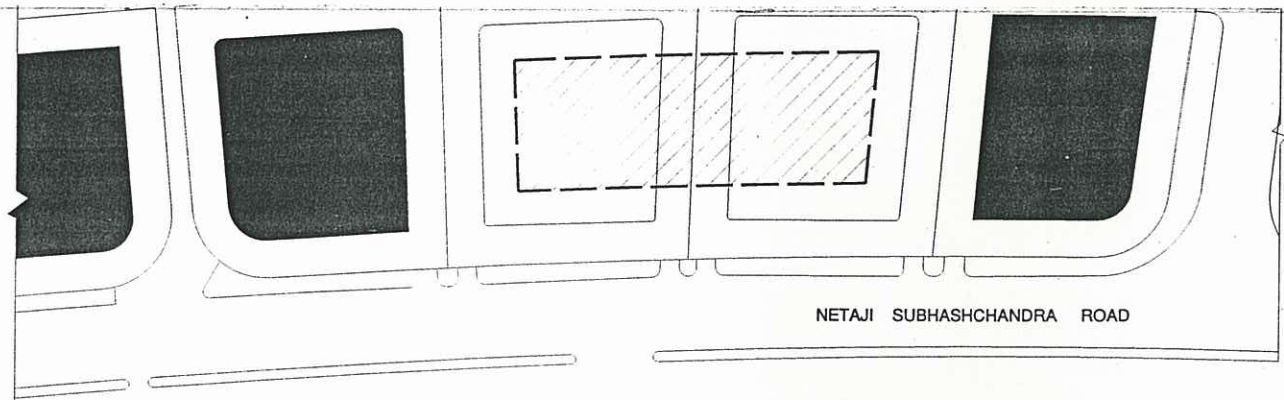
With reference to the Condition Survey plots with buildings in extremely poor and poor conditions would have to undergo Redevelopment / Reconstruction / Repairs and Rehabilitation for which the following guidelines would apply.

Note that these guidelines shall be applicable to all cessed and non cessed buildings and will need written approval from the MHCC

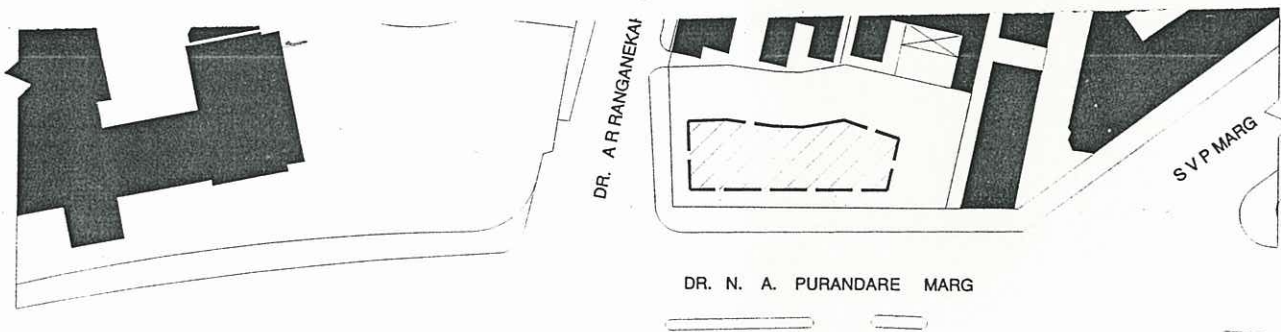
8.2.1 AMALGAMATION / SUBDIVISION OF RESIDENTIAL/ COMMERCIAL LANDS.

8.2.1.1 Amalgamation (Refer Drg 62)

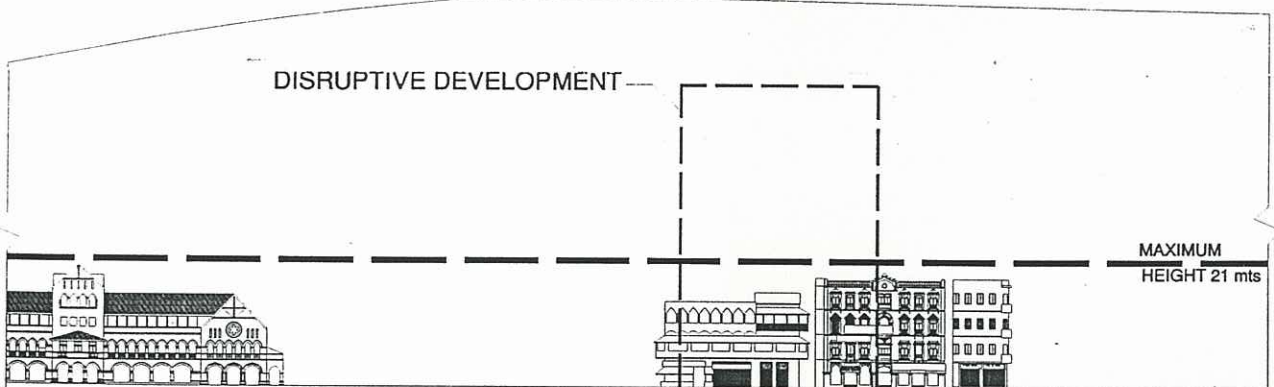
Subprecinct "1"	Subprecinct "2"	Subprecinct "3"
Amalgamation of land will not be permitted	Amalgamation of land will not be permitted	Amalgamation of land will not be permitted Exception : Where the two adjoining plot dimensions are less than 15 Mts. x 15 Mts amalgamation would be permitted.



DISRUPTIVE DEVELOPMENT

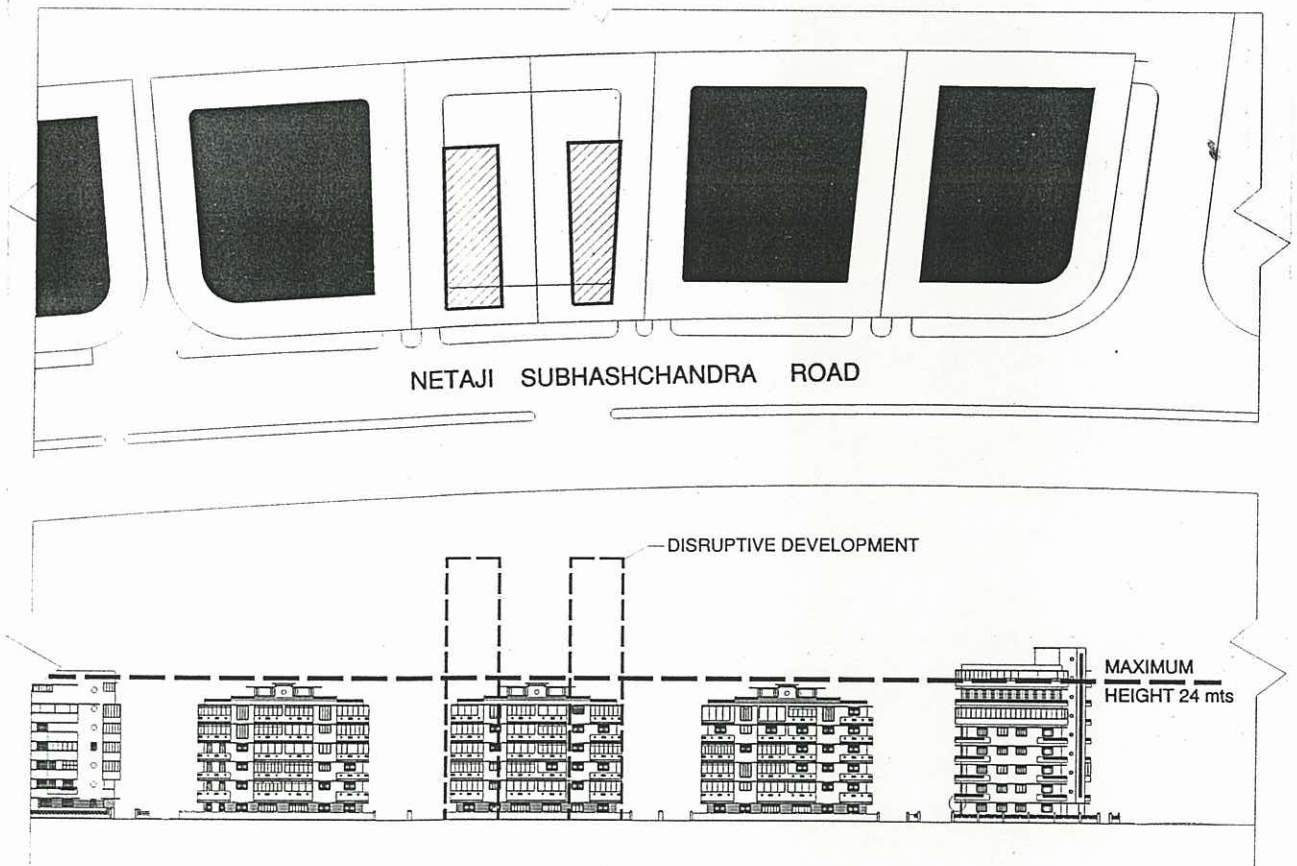


DISRUPTIVE DEVELOPMENT



8.2.1.2 Subdivision (Refer Drg 63.)

Subprecinct "A"	Subprecinct "B"	Subprecinct "C"
Development or redevelopment involving subdivision of plots into number of plots would not be permissible	Development or redevelopment involving subdivision of plots into number of plots would not be permissible	Development or redevelopment involving subdivision of plots into number of plots would not be permissible



SUB PRECINCT -1

Drg 63 Subdivision of Plots.
Source RCACC 2000 / 2001

8.2.2 Recreational / Amenity open spaces for layout/subdivision of vacant lands in residential and commercial zones. (Ref D.C.R-23&35)

No recreational/Amenity open spaces are required for any layout/subdivision of land upto 1000 sq. Mts.

Table showing area of plot, physical provision of recreational ground / amenity open spaces and percentage of deductions for the consumption of F.S.I.

Area of plot.	Physical provision of RG on net plot area.	Percentage of deduction for consumption of F.S.I
1001 to 2500 M ²	15%	Nil. Subject to maximum 2125.00M ²
2500 to 10000 M ²	20%	15%
Above 10000 M ²	25%	15%

8.2.2.1 Minimum dimensions and area

The minimum dimensions of each of the recreation space shall not be less than 7.5 Mts. If average width of such recreational space is less than 16.6 Mts., maximum length of RG shall not exceed 2.5 times of the average width.

8.2.2.2 Location of RG

- 1) Recreational space (RG) shall be as far as possible be provided at one place.
- 2) Wherever there is a hardship in providing such recreational space (RG) at one place due to shape of plot such RG will be allowed to be provided at more than one place depending upon merit of the case.
- 3) Where the area of the layout/subdivision is more than 5000 sq. Mts., such recreational open space (RG) can be provided at more than one place. However, at least one of such open space, its area shall not be less than 1000 sq. Mts.

If play ground (PG) reservation is proposed adjoining to school, provision of 15% RG is not necessary.

8.2.3 Structures/uses permitted in layout recreational open space (R.G) in residential and commercial zones. D.C.R 23(g)

8.2.3.1 Category 'A'

Recreational area of 400 sq. Mts. to 1000sq. Mts. in one piece.

Following users are permitted, free of F. S. I., subject to its area shall not exceed more than 10% of the open space in which they are located.

- 1) Underground water storage tanks and should be flushed with the ground level.
- 2) Electric sub stations.
- 3) Pump room preferably submerged pumps to be used.
- 4) Note: all the above mentioned structures should be located in a way that they don't obstruct in the way of the fire engine.

8.2.3.2 Category 'B' (For Sub-Precinct "2")

Recreational area of 1000 sq. Mts. or more in one piece and in one place.

No structures should be allowed free of F. S. I.

- 1) Its built up area shall not exceed 15% of the total recreational open space in one place.
- 2) Its plinth shall be restricted to 10% of the area of recreational open space.
- 3) Such structure may be a Gr. 1 storied structure and its height shall not exceed 8.00 Mts.
- 4) Built form that evolves shall have the shorter side facing the sea.

Notes: - Structures for sports & Recreation activities shall be permitted subject to following condition: -

- a) Ownership of such structures shall vest with owners, society/s or federation of society as the case may be.
- b) Such structures shall be used for sports and recreational activities only and applicant shall have to submit registered undertaking to the commissioner to that effect.
- c) The remaining area of the recreational open space shall remain unbuilt upon and open to sky and shall be accessible to all members.

8.2.4 ADVANTAGE OF D.P ROAD AND SETBACK & SUBSEQUENT SETBACK (D.C.R. 33 (1))

8.2.4.1 D.P Roads & Setbacks and F.S.I. Permissibility

8.2.4.1.1 Road widening line shall be so prescribed under the Bombay municipal corporation act.1888 as to preserve and not detract from the said heritage precincts.

8.2.4.1.2 If there are any new roads or road widening lines proposed in the revised sanctioned development plan of greater Mumbai, the Heritage Committee shall consider the heritage provisions while considering applications for development permissions in these precincts. Necessary steps may be taken to modify the development plan accordingly. Pending this action, the widening shall not be carried out.

8.2.4.1.3 No road widening of the existing road shall be allowed under the Bombay municipal corporation act or in revised development plan for gr. Mumbai in such a manner so to affect the existing heritage building as per the list sanctioned by the government even though they are not included in the precinct.

8.2.4.1.4 For construction of new roads (D.P roads) and widening of existing road (set back) proposed and on the development plan/or Bombay Municipal Corporation Act1888. Any Additional F.S.I. is permitted as T.D.R (Refer Guideline No.8.2.30)

- 1) The land in D.P. road/s and setback shall be handed over to municipal corporation free or cost and encumbrances.
- 2) The area in terms of F.S. I. of such land in D.P. roads / setback shall be allowed to be utilised as T.D.R. in accordance with regulation.
- 3) The ownership of land in D.P. road should be transferred in favour of M.C.G.M. in city survey records, and separate property register card to that effect should be submitted before issue of occupation permission to the extent of land in d. p. road /set back.
- 4) The transfer of ownership for land in setback is not obligatory. However P.R. card with necessary mutation entry is sufficient.

8.2.4.2 Set-back utilisation

8.2.4.2.1 – Partially developed property: -

- 1) In case of partially developed site, where full F.S.I. is not consumed, the advantage of setback areas can be utilised to the extent of net balance F.S.I. remaining on the plot and the excess balance F.S.I. left thereafter shall be used as T.D.R. (Refer Guideline No.8.2.30).
- 2) If the deficiency in front (road side) open space is created to the existing building due to setback such deficiency, would not be tolerated without charging premium when balance development is proposed

8.2.4.2.2-Subsequent setback to fully developed property: -

- 3) In case of fully developed property, where entire developed F.S.I. is consumed then the extra F.S.I. created as a result of road widening shall be used as T.D.R. (Refer Guideline No.8.2.30)..
- 4) The deficiency in front (roadside) open is created due to subsequent setback shall be tolerated / condoned without changing premium.

8.2.5 ACCESSORY STRUCTURES PERMITTED FREE OF F.S.I. IN RESIDENTIAL, COMMERCIAL ZONES.

8.2.5.1 'A' within compulsory open spaces. (Except front open spaces) D.C.R 35 (2)

- 1) Electrical substation.
 - a) Indoor (under stilt or in basement).
 - b) Outdoor as per requirements of electricity company.
- 2) Watchman's cabin.
- 3) Electrical meter rooms (within building use and out of building line) at ground floor.
- 4) Underground water tank and pump rooms, septic tank & soak pit.
- 5) Dust bin
- 6) Telephone booths.
- 7) Open parking and parking with sheds.

Note: - No enclosed garages shall be free of F.S.I.

8.2.5.2 'B' within layout R.G. (With 1000 sq. m. area or above) D.C.R 23(g ii)

No structures will be permitted free of F.S.I.

8.2.5.3 'C' on terrace floor D.C.R 35(2)

- 1) Staircase room.
- 2) Lift and machine room.
- 3) Overhead water head tanks.

Note: - No uses other than the above-mentioned are permitted free of F.S.I, namely the society office, the Tele-communication/satellite communication system including antennas.

8.2.6 ANCILLARY (NON-RESIDENTIAL) USES PERMITTED IN PURELY RESIDENTIAL ZONE (R-1) D.C.R 51

(Refer Drg. 64, 65, 66, 67 & 68)

Building Rules and General Estate Regulations in respect of Blocks No. I And II (i.e. **Sub Precinct 1**) of The Back Bay Reclamation Scheme.

8.2.6.1 The plots fronting Church gate Street (Veer Nariman Road) and Jamshedji Tata Road, marked on the accompanying plan (hereinafter referred to as the two main roads) may, subject to the exceptions mentioned in **Guideline No. 8.2.6.4** below, be used for any one or more of the under mentioned purposes.

- (a) Commercial purposes, such as shop, showrooms, offices, hotels and places of amusement.
- (b) Public and semi-public purpose, such as libraries, schools, colleges and clubs, but excluding building intended for the purpose of religious worship.
- (c) Private residential purposes.

8.2.6.2. The plot fronting the Marine Drive (Netaji Subhash Chandra Bose Marg) and Madame Cama Road marked on the accompanying plan may, subject to the exceptions mentioned in Guideline No. 8.2.6.4 below, be used for any one or more of the purposes specified in Guideline No. 8.2.6.1 above except that they shall not be used for shops, show-rooms and places of amusement.

8.2.6.3 The plots fronting roads other than the two main roads Veer Nariman and Jamshetji Tata, the Marine Drives and Madame Cama Roadmay, subject to the exceptions mentioned in Guideline No. 8.2.6.4 below, be used for the construction of private residences only.

Note; - Government buildings shall be deemed to be private residencies for the purpose of this rule.

8.2.6.4. Exceptions: -

a) The corner plots situated on the road Jamshedji Tata Road than those provided for under exceptions 1) to 4) below may be used throughout for all the purposes specified in Guideline No. 8.2.6.1 subject to the one restriction that shops, show-rooms and places of amusement will be permitted only on the frontage on Jamshedji Tata Road.

1) The two corner plots numbered 149 and 179 shall have no shops, showrooms, or places of amusement, on their either frontage.

2) The corner plots no. 393, 61, 62 and 65 may be used throughout for all the purposes specified in rule No. 1.

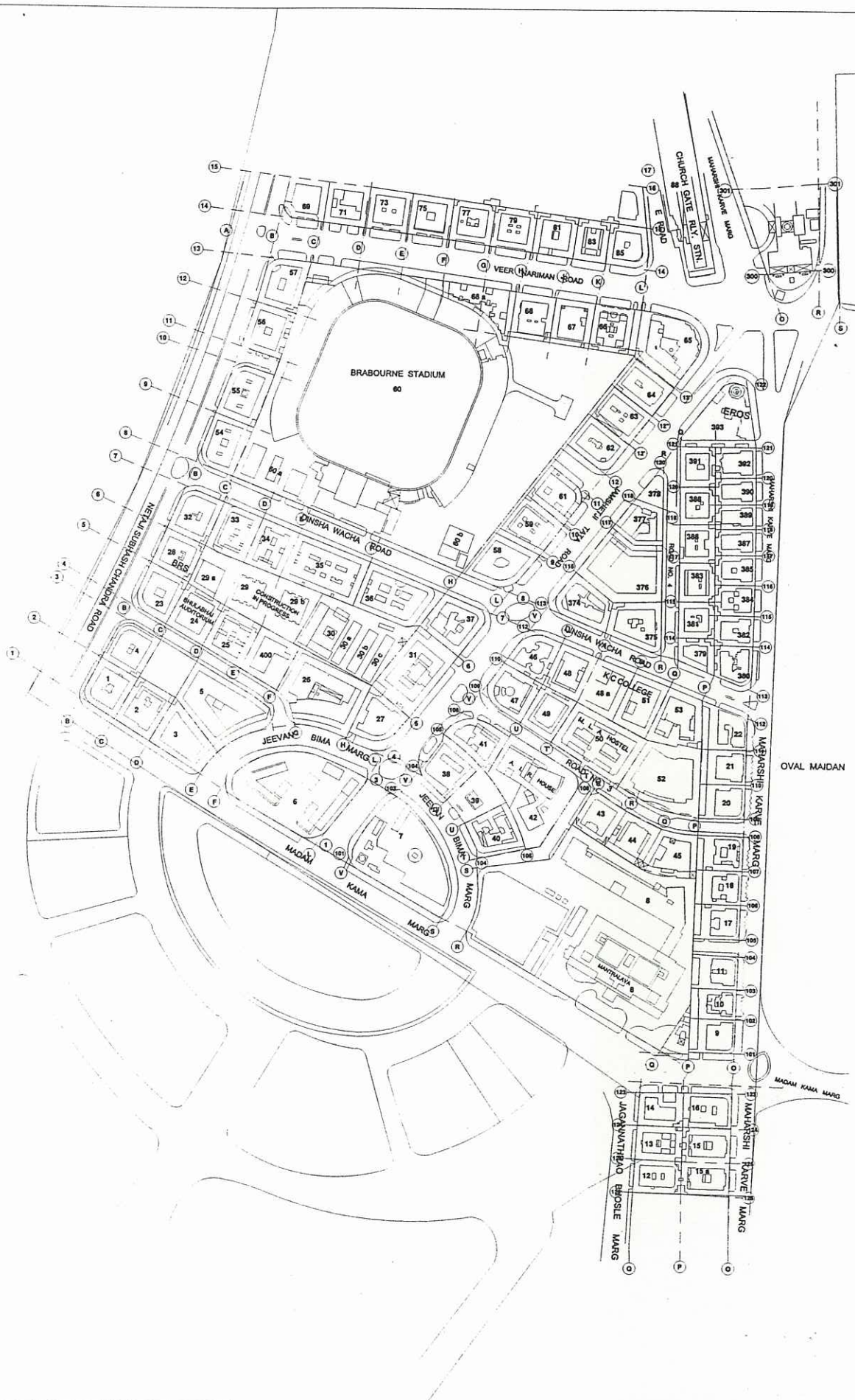
3) The plot numbered 377 may be used for any one or more of the purposes specified in Rule No. 1 except that shops, show-rooms and places of amusement shall not be permitted on the eastern frontage of the plot.

4) The plot numbered 378 may be used for the erection of a petrol service station only and the building on the plot, shall be restricted to a ground floor structure only not exceeding 20 feet in height. A "car lift" for servicing purposes shall be allowed in the rear of the plot.

b) The corner plots situated on the Marine Drive other than those provided for under the exception below may, notwithstanding their having frontages on side roads where user is restricted to private residencies only, to be used for all the purposes specified in Guideline No. 8.2.6.2

1) The corner plots Nos. 57 and 69 in addition to being available for all the purposes specified in Guideline No. 8.2.6.2 may have shops and show-rooms but no places of amusement on their frontages of Churchgate Street.

c) The corner plot No. 85 may be used for all the purposes specified in Guideline No. 8.2.6.1 on its eastern frontage as well as on its frontage on Churchgate Street.



NORTH
SCALE 1:4500

0 50 100 200 300M

LEGEND >>

ML (Building Footprint)

ML (Road)

ML (Water Body)

NOTES >>

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PROJECT CO-ORDINATOR: ANANDA SWAMY
CONSULTANT: ANANDA SWAMY
GROUP CO-ORDINATOR: ANANDA SWAMY

Drawing No.: Title : SUBPRECINCT 1
Date : FEBRUARY 2000
Prepared by : ANANDA A

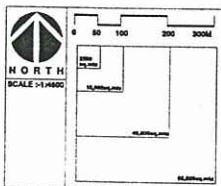
REVISION

R1	R2	R3	R4	R5	R6	R7	R8	R9

Study, Research & Documentation of Marine Drive Precinct for MMRHCS

RCACC

Drg. 65 Reference Numbering for Sub Precinct – 1
Source RCACC 2000 / 2001



LEGEND >

	Building Footprint
	Road
	Boundary
	Water Body
	Green Space

NOTES >

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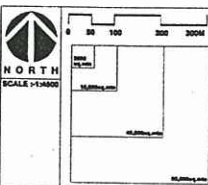
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 Date: 1 FEBRUARY 2000
 Prepared by: AMAND A

REVISION	R1	R2	R3	R4	R5	R6	R7	R8	R9

Study, Research & Documentation of Marine Drive Precinct for MMRHCS

Dr. 64 Reference Numbering for Sub Precinct - 1
 Source RCACC 2000 / 2001





LEGEND

[Symbol]	[Symbol]
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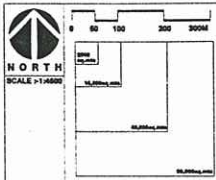
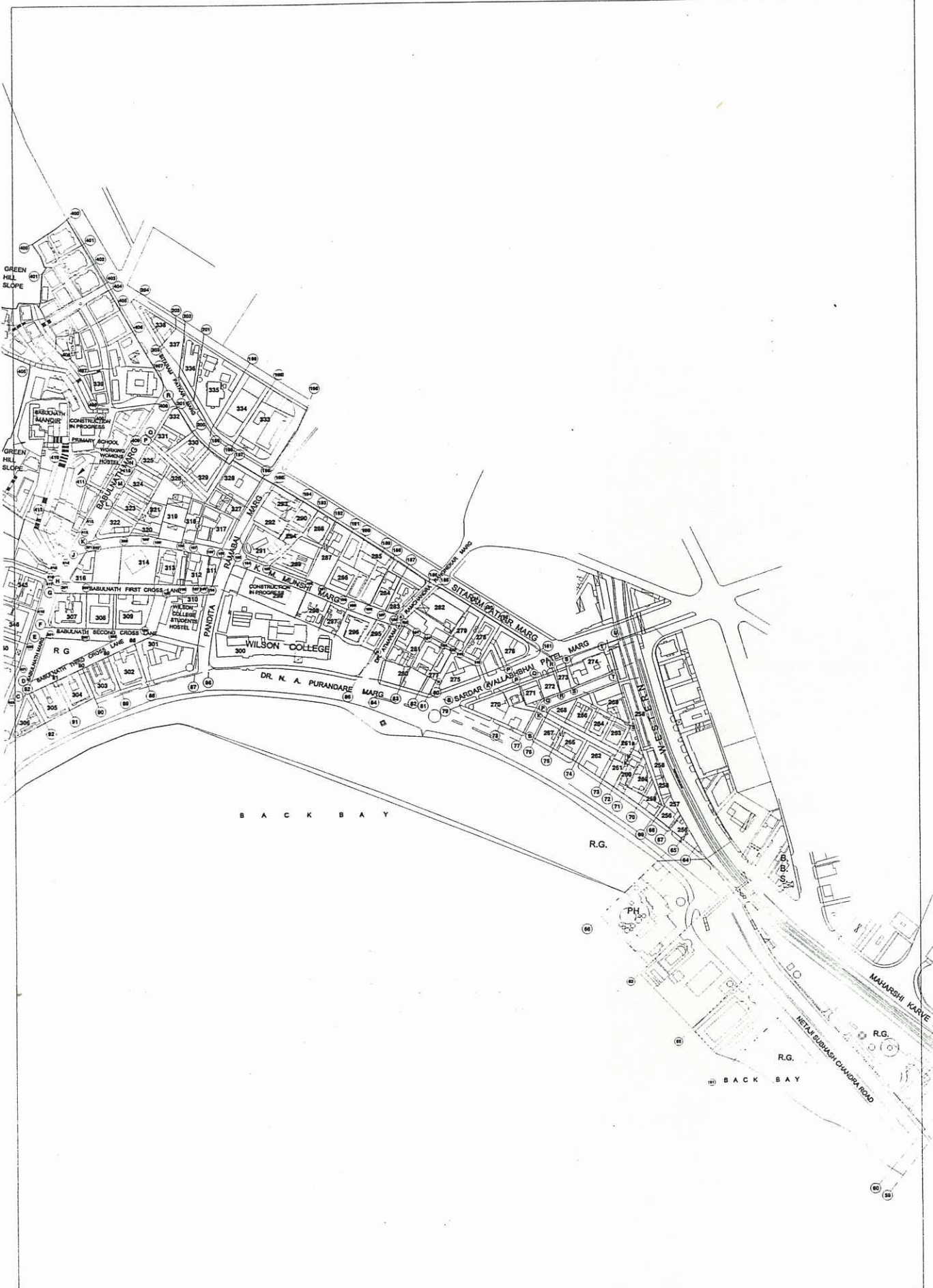
PROJECT TEAM

Client: [Name]
 Project: [Name]
 Prepared by: AMAR A

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Study, Research & Documentation of Marine Drive Precinct for MMRHCS

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LEGEND >

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PROJECT TEAM

ARCHITECT	ARCHITECT
PROJECT CO-ORDINATOR	PROJECT CO-ORDINATOR
DESIGNER	DESIGNER
GROUP CO-ORDINATOR	GROUP CO-ORDINATOR
GROUP CO-ORDINATOR	GROUP CO-ORDINATOR
GROUP CO-ORDINATOR	GROUP CO-ORDINATOR
GROUP CO-ORDINATOR	GROUP CO-ORDINATOR

Drawing No: **THIS : SUB PRECINCT 3 04**

Date: **FEBRUARY 2000**

Prepared by: **ANAND A.**

Study, Research & Documentation of Marine Drive Precinct for MMRHCS

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REVISION									
R1	R2	R3	R4	R5	R6	R7	R8	R9	R10

d) The plots Nos. 86, 105, and 100 may be used on their eastern frontages only for all the purposes specified in Guideline No. 8.2.6.1 except for places of amusement.

e) The corner plots Nos. 134, 135 and 140 shall be used for private residential purposes only.

f) The plot fronting the Road facing Marine Lines Station may be used for all the purposes specified in Guideline No. 8.2.6.1 except for places of amusement.

g) The building on plot no 33 shall have 3.3 metres of compulsory open space on the western side and 6.6 metres on the other three sides.

8.2.6.5 All shops constructed on the frontages of plots on Madame Cama, Veer Nariman and Jamshedji Tata roads shall have a minimum frontage of 8 metres and shall not be subdivided. Such shops shall be of a good showroom type and shall be provided with glass fronts. When any question arises as to whether a particular type of shop is or is not permissible on the frontages in question, the decision of the Municipal Commissioner on recommendations of the MHCC shall be final. The plots fronting Queen's Road (Maharishi Karve Road), with the exception of the corner plot No. 393 situated at the extreme north-east Corner of Block No. II, opposite Churchgate Station and the Oval, including the corner plots Nos. 15 and 15a shall be used for private residential purposes only.

8.2.6.6 Apart from residential use the following uses and specified ancillary uses to the extent of 50% of the floor space of the principal use shall be permitted in buildings in purely residential zone. (R-1)

- 1) Customary home occupations.
- 2) One dispensary or clinic per building on the ground floor, or on the first floor
- 3) Nursing homes, polyclinics, maternity homes on the ground floor or on the 1st and the 2nd floors with separate access / staircase within the building or outside with a special permission of the commissioner and clearance from heritage committee.

- 4) Professional office with carpet area not exceeding 30 sq. Mts. for the residents of the premises.
- 5) Educational buildings (except trade schools) students hostel in an independent building, religious buildings, community hall, welfare centre and gymnasium.
- 6) The commissioner may permit monetary school/kinder garden or Bal Mandir in a part of a residential building on ground floor or 1st floor above stilt upto 40 sq. Mts.
- 7) Floor mill with a permission of commissioner in a single storied detached structure. The clearance for which has to be taken from the heritage committee.
- 8) Branch/branches of bank/s including safe deposit vaults on ground floor and on 1st floor.
- 9) In the Island City, the area of such branch of the bank including safe deposit vault should not exceed 400 sq. Mts.
- 10) Convenience shopping if plots abuts on roads of 12M width or above.

NOTE: - Permission for all above needs to be taken from commissioner and clearance from heritage committee.

8.2.6.7 No plot shall be used for the erection of stable and cow sheds either for commercial purposes or designed as appendages to private residential buildings. Nor shall any plot be used for the purpose of poultry farms or for housing any live stock except that cages for pet birds and moveable dog kennels of normal dimensions and in reasonable numbers may be allowed.*

8.2.6.8 No hotels, whether private or otherwise, lodging houses or boarding houses or public or semi-public dispensaries or clinics of any description whatsoever shall be permitted on any of the plots reserved exclusively for private residential purposes.*

8.2.6.9 A medical or a legal practitioner or a dentist residing in a flat constructed on one of the plots reserved exclusively for private residential purposes may use one room in the flat as a consulting room or as a dentists room. Similarly, a member of the Consular Service may use one or more rooms in the flat as an office or offices. Advertisement boards in this connection shall not, however, be permitted to be displayed outside the building concerned. A small nameplate affixed to the entrance door of

the flat occupied by the medical or legal practitioner or dentist or other person, and small nameplates affixed in convenient positions outside the building near the compound gates may be permitted in all cases. Small boards indicating the names of the tenants and the numbers of the flats occupied by them may also be affixed to the wall in the main entrance hall of all buildings.*

8.2.6.10 Nothing shall be done on any plot or any part thereof or in any building erected thereon which shall be a nuisance, or cause of annoyance or disturbance to any adjacent occupier or owner or to other persons residing in the same premises.*

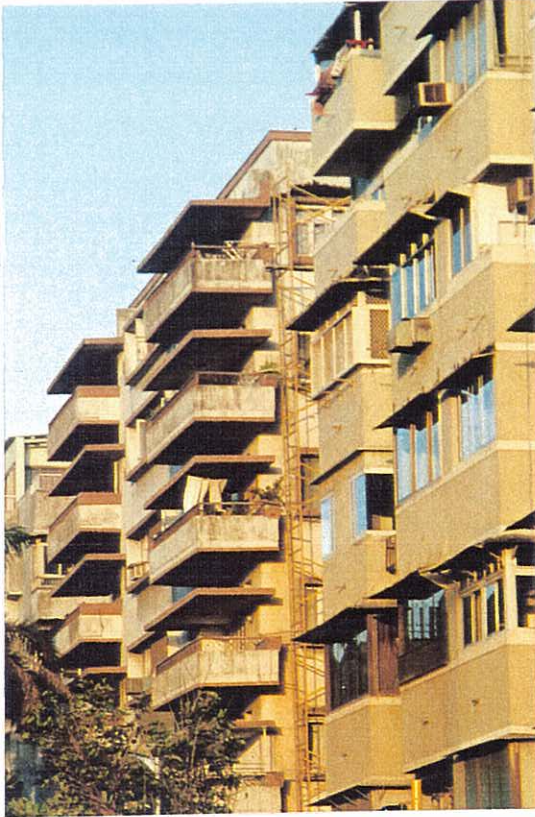
8.2.7 - Local Commercial Area/zone (C-1 zone) DCR-53

8.2.7.1 Uses permitted in a local commercial zone (C-1 zone)-the following uses are permissible in the C-1 zone:

All the uses permitted as per DCR- 53 of 1991 The development control regulation no. 52(4) bans office user in Island City of Bombay. However in cases of buildings included in the precinct, if the owner/owners agree to maintain the listed building as it is in the existing state and to preserve its heritage state with due repairs and the owner/owner's give a written undertaking to that effect the owner/owners may be allowed with the approval of the heritage conservation committee to convert a part thereof or the entire building non-commercial area within such a listed heritage building for the commercial/office user, provided that if the heritage building is not maintained suitably or if the heritage value of the building is allowed to be spoiled in any manner, the commercial/office user shall be disallowed. This change of user shall be only in cases where the lease document does not specify the use as a covenanted clause.

8.2.7.2: -General conditions governing the uses permitted in C-1 zone: -

- 1) All goods offered for sale shall be displayed within the building, and not in passages and open spaces.
- 2) When the commercial zone boundary falls short of a street, the frontage along such street shall not be developed for uses, which would not be permissible along such street.
- 3) When the uses other than those permissible in the R-1 zone, have an access from the side or rear open space, the width of such open space shall not be less than 7 Mts.



Balcony Details
Source RCACC 2000 / 2001



Balcony Details
Source RCACC 2000 / 2001

8.2.7 ADDITIONAL USERS PERMISSIBLE FOR DEVELOPMENT OF PLOTS RESERVED FOR RECEIVING STATIONS / SUBSTATIONS ETC FOR B.E. S. T LTD, M.S.E.B. Etc.

Setback and open space requirements **will not be relaxed** for the plots reserved for receiving station substation etc, for best

8.2.8 BALCONY D.C.R 38 (22)

(Refer Drg 69 & 70)

8.2.8.1 Balcony is a horizontal projection beyond building line including, parapet, handrail and balustrade.

8.2.8.2 Balconies need to be either partially or completely cantilevered.

8.2.8.3 The length of the balcony will not exceed $\frac{2}{3}$ the width / length of the room its projecting from and the depth of the balcony not exceed 1.2 Metres overall as measured from the face of the building.

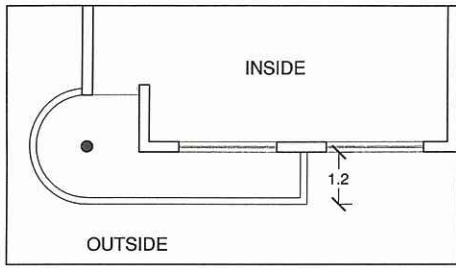
8.2.8.4 They shall not be joined from floor to floor in such a way as to form a continuous projection encroaching on the open spaces required to be left under these guidelines.

8.2.8.5 . No balconies will reduce the minimum marginal open space to less than 3.3 metres, at the rear and the sides and 1.5m in the front

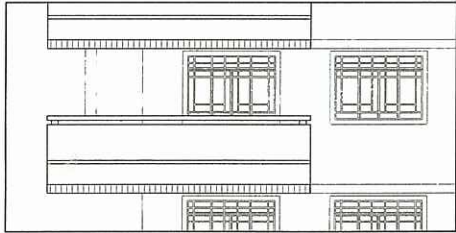
8.2.8.6 Balconies will be permitted to project over the specified open spaces only on the first and upper floors of the buildings.

8.2.8.7 Area of the balcony on each floor up to 10% of the total floor area will be permitted free of F.S.I. however the additional balcony area shall be computed in F.S.I.

8.2.8.8 No enclosure of balconies will be permitted, even by payment of any premium. Not to erect any projection on account of balconies or verandas which project beyond the building line except as provided by the guidelines set out in the hereto. Balconies /

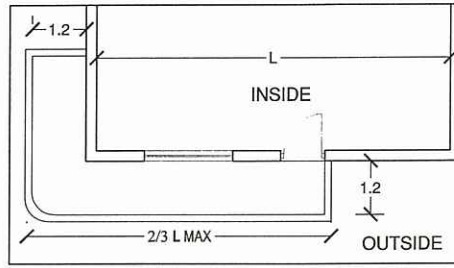


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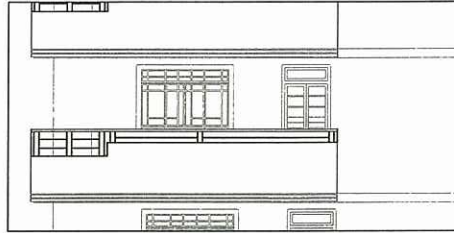


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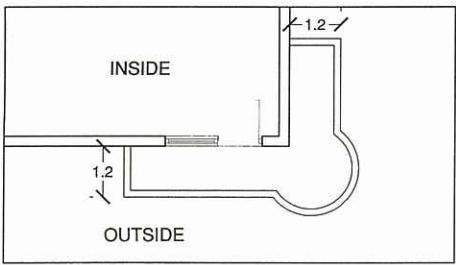


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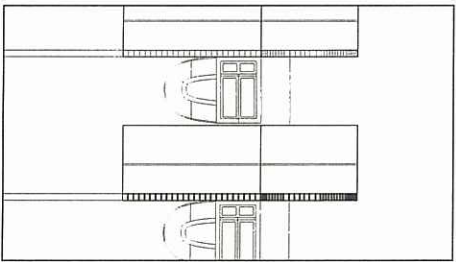


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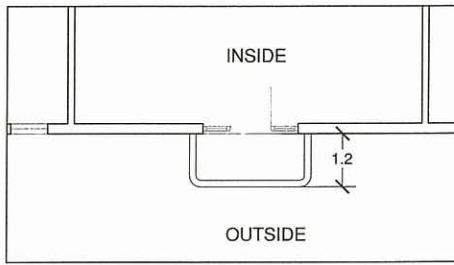


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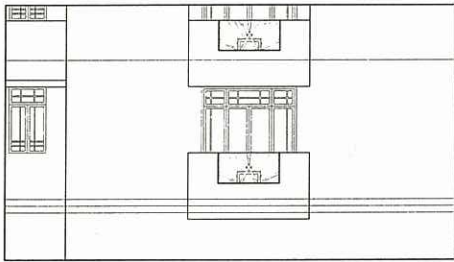


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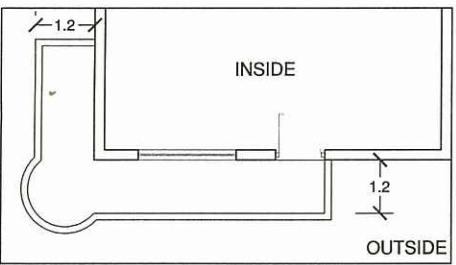


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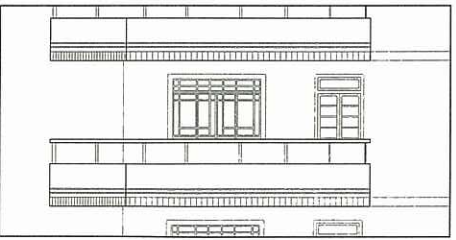


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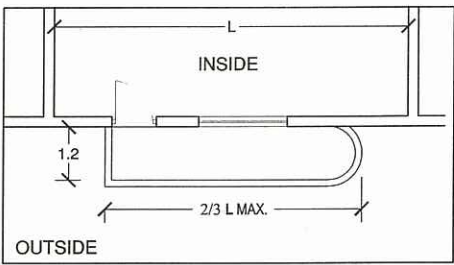


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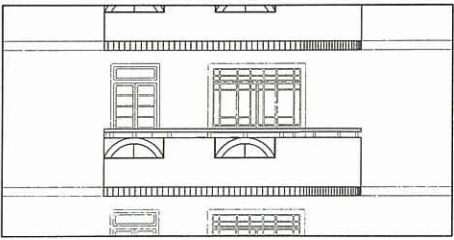


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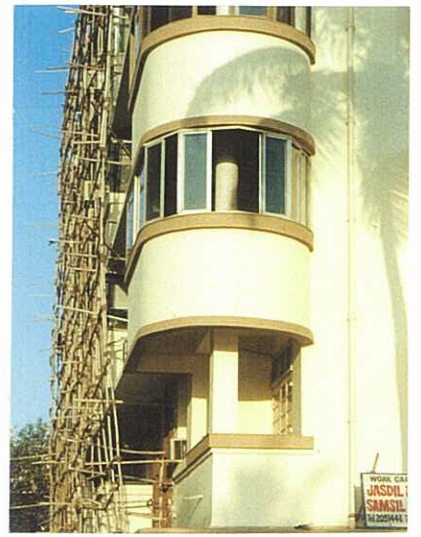


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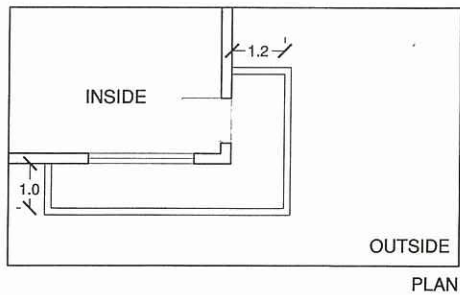


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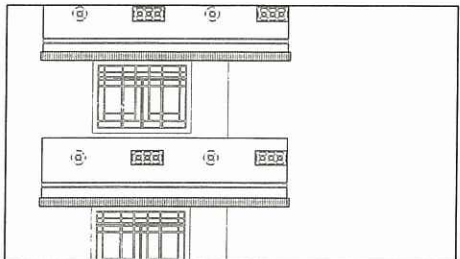
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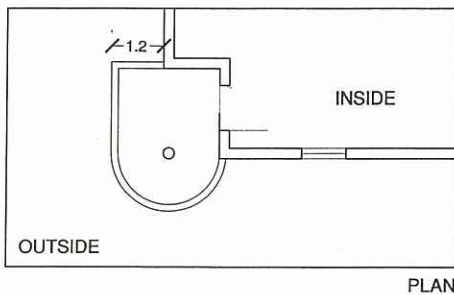
Dr. 69 Types of Balconies - 1
Source RCACC 2000 / 2001



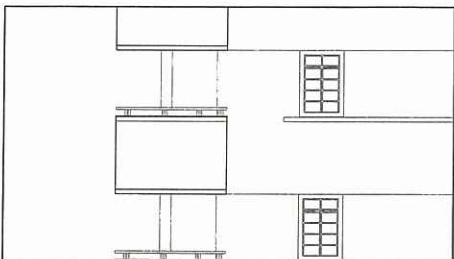
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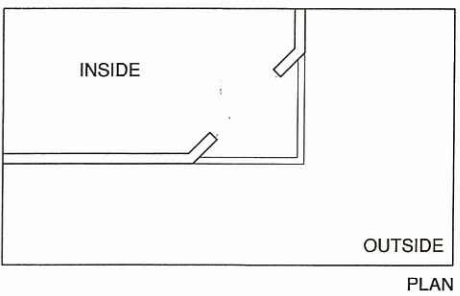
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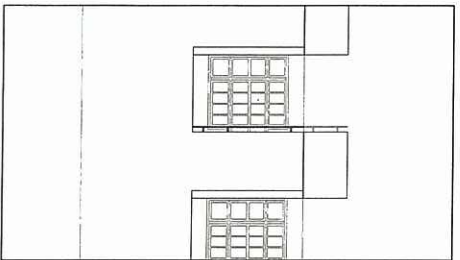
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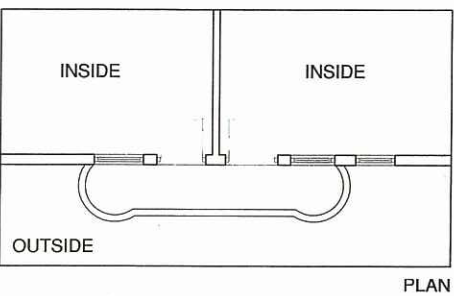
TYPE 8 ELEVATION



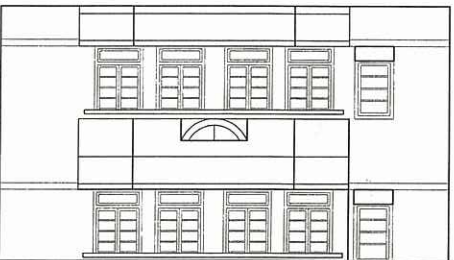
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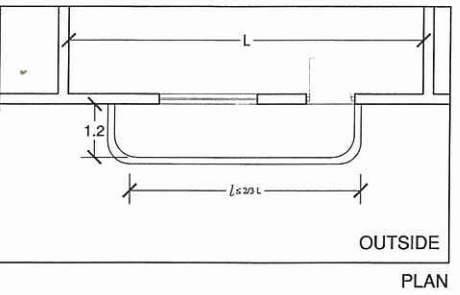
TYPE 9 ELEVATION



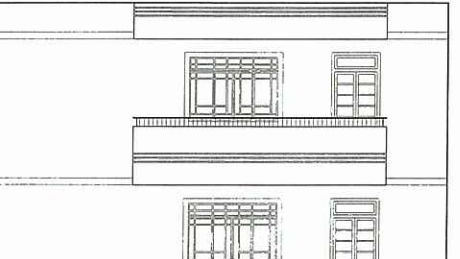
PLAN



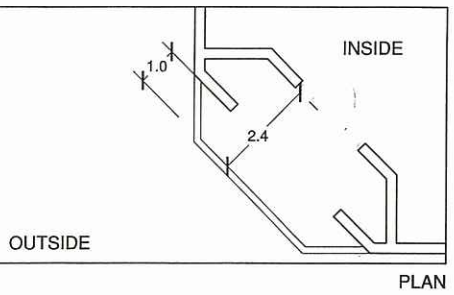
TYPE 10 ELEVATION



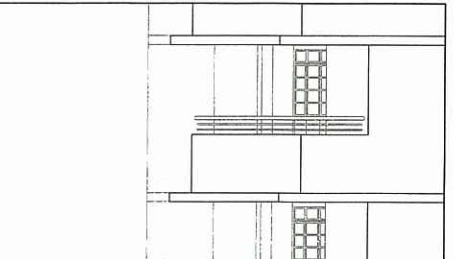
PLAN



TYPE 11 ELEVATION



PLAN



TYPE 12 ELEVATION





Balcony Details
Source RCACC 2000 / 2001



Compound Wall
Source RCACC 2000 / 2001

Windows shall not be enclosed with projecting box grills at any level.

8.2.8.9 Fire escape balconies will be free of F.S.I as per Chief Fire Officer (C.F.O) requirement.

8.2.8.10 Balconies will be permitted to building in the commercial zone by counting its area during F.S.I computation.

8.2.9 0 REVAS PROJECTION D.C.R 38(22)

8.2.9.1 The Revas projection for the staircase will only be permitted to the corner buildings in the precinct.

8.2.9.2 The projection will not be more than 0.75m and will be at least 2.25m above the ground level.

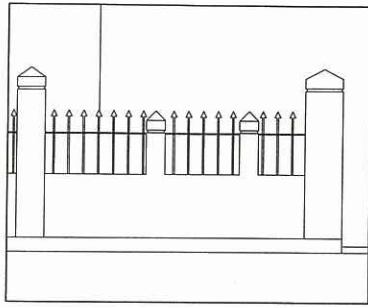
8.2.9.3 Areas of Revas projections at all floors shall be taken into account for the consumption of F.S.I

8.2.10 COMPOUND WALLS
(Refer Drg.71)

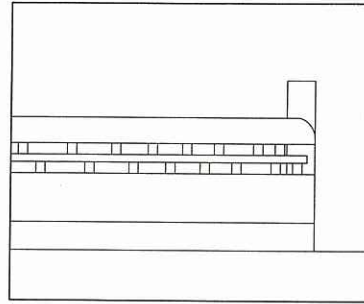
The designs of the compound walls to be erected on the plots shall be as follows: -

8.2.10.1 Front walls: - solid wall raised to the height of 75 centimeters from the ground level shall be constructed along the front boundary of each plot. This wall shall be built in natural stone or cement concrete finished on exposed faces to resemble natural fine dressed stone. The upper parts of this wall, which may be of the railing type, or of perforated R.C.C. work or other suitable type, shall be designed to suit the frontage, but the total height of the gate pillars shall not exceed 2.2 meters as measured from the ground level. The upper parts of the gate pillars above the height of 75 centimeters, as measured from ground level may, if so desired, be built in brick masonry and finished with cement plaster.

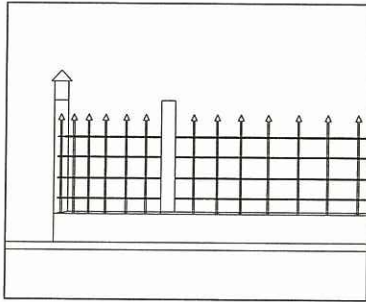
8.2.10.2 Side and rear walls: - The treatment of the lower parts of the side and rear walls up to a height of 75 centimeters from the ground level shall be similar to that of the front walls. The upper parts of the side and rear walls may,



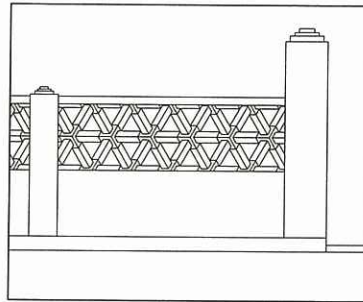
TYPE-1



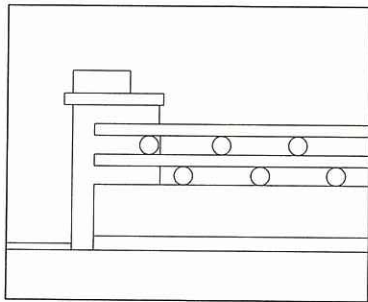
TYPE-2



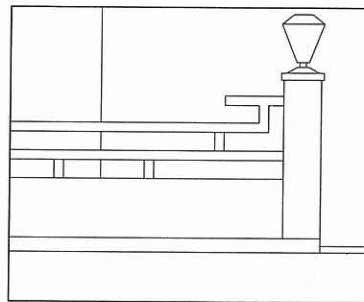
TYPE-3



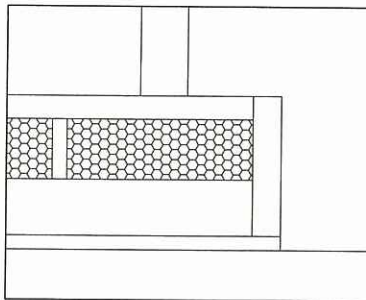
TYPE-4



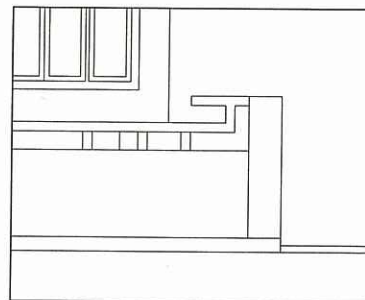
TYPE-5



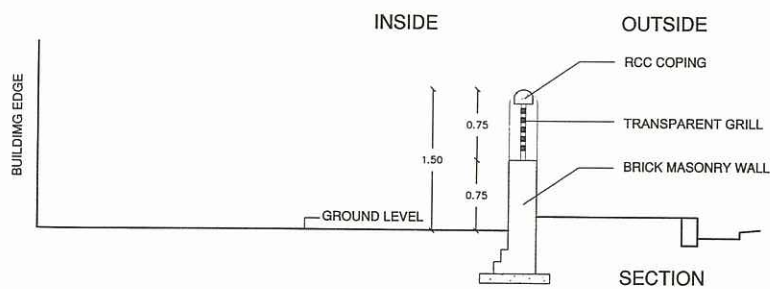
TYPE-6



TYPE-7



TYPE-8



if desired, be built either in cement concrete or brick masonry, finished with cement plaster but the total height of these walls shall not exceed 2 meters as measured from the ground level. The upper parts of the side and rear walls may also be of the railing type or of RCC perforated work if so desired. These walls may be built with half their thickness situated on each side of the common boundary between two plots, with a square pillar 2.2 metres high and having sides measuring 45 centimetres (22.5 centimetres of the pillar to fall on each side of the common boundary between two plots) at each end of the frontage to serve as a connecting link between the treatment of the boundary walls of two plots.

8.2.11 BASEMENT DCR-38 (9) (Refer Drg.72)

8.2.11.1 Basement/cellar means a lower storey of a building, below or partly below the ground level.

8.2.11.2 Permissibility

- 1) The basement in one and two levels is permissible to any building in the residential commercial and industrial zones.
- 2) The basement can be proposed partly or fully within the building line.
- 3) The basement is permissible beyond building line subject to that the clear distance between plot boundary and such projected basement beyond building line shall not be less than 1.5m.
- 4) Basement shall not be permitted in compulsory front / roadside open space.

8.2.11.3 Coverage

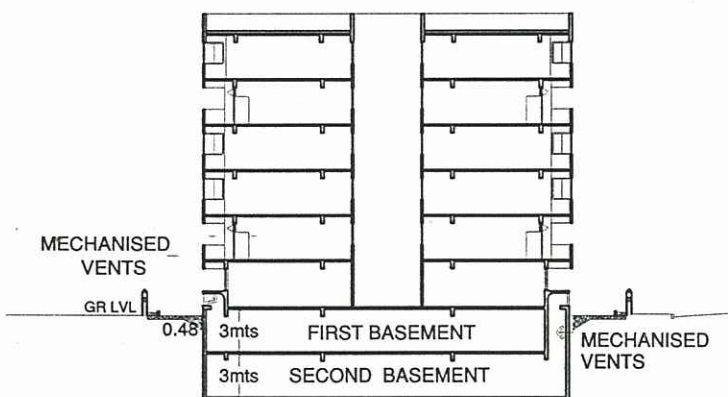
The total built-up area of any basement shall not exceed twice the plinth area of such building in reference or area of plot whichever is less.

8.2.11.4 Height

The height of basement from floor to beam bottom shall not be less than 2.4mtrs.

8.2.11.5 Ventilation

- 1) The-basement floor will be lighted and ventilated by providing artificial lighting and



SCHEMATIC SECTION THROUGH A PROPOSED
DOUBLE BASEMENT STRUCTURE

Drg 72 Basement Detail.
Source RCACC 2000 / 2001

mechanical ventilation. No ventilators to be provided at the plinth level.

2) No allowance for raised plinth will be allowed in the Marine Drive Precinct.

8.2.11.6 Users Permitted in basement free of F.S.I.

- 1) Storage of household in residential buildings.
- 2) Storage of non-hazardous goods for commercial/industrial buildings.
- 3) Store rooms lockers or safe deposit vault for a branch of bank to the extent of 50% of its principal use.
- 4) Air conditioning plant room and machine room required for providing services and utilities to the building.
- 5) Parking for vehicles
- 6) Electric substation subjects to compliance of required. Safety measures of electric company/CFO

Notes: -

- a) The ceiling of an upper basement shall not exceed 0.6m from the G.L or equivalent height of the adjacent structures.
- b) The extended basement beyond building line shall be flushed with finished ground level.
- c) The access to the basement shall be through a regular staircase and a ramp. The slope of ramp should be provided with 1:10.
- d) The parking layout in basement should be got approved from the executive Engineer (traffic & Co-ordination).

8.2.12 CANOPY

- a) It is a cantilevered and unenclosed projection over common entrance and each common staircase and its length should not exceed more than 3.5mts.
- b) It should be minimum 2.2mts above ground level and its outer edge shall be atleast 1.5mts from the boundary of the plot.

8.2.13 CHOWKS

8.2.13.1 Inner chowks

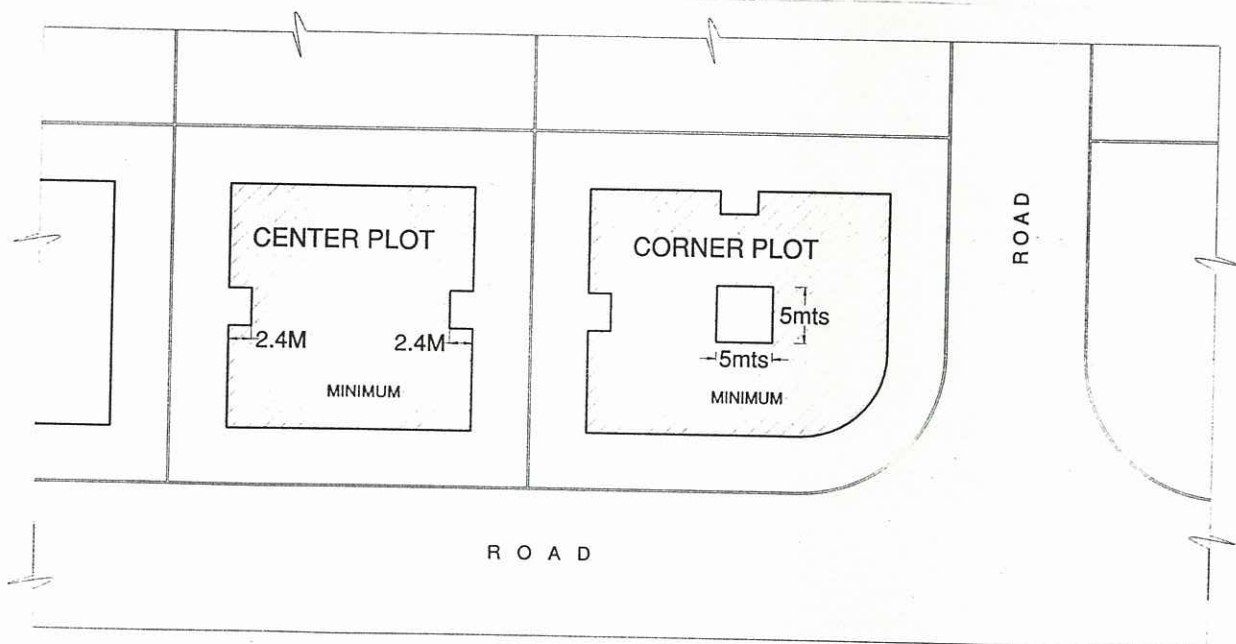
(Refer Drg.73)

- 1) This is an interior enclosed space /courtyard or a duct from where W.C, bathroom, toilet, stairways or any such non habitable users can derive light & ventilation.
- 2) The minimum width of such inner chowk, shall be 3 Mts.
- 3) Such inner chowk will be accessible atleast on one side on ground floor level through a common passage or space.
- 4) The width of such inner chowks at all levels, shall not be less than, square of $1/5^{\text{th}}$ of the height of the highest wall abutting the inner chowk.

8.2.13.1 Outer chowk

- 1) This is an unenclosed open space.
- 2) The minimum width of an outer chowk, (as distinguished from its depth) shall be 2.4 m if the depth exceeds width, the open spaces shall be provided as required for each of the wings, when any habitable room depends for light and ventilation for such outer chowk.

Note: - The inner as well as the outer chowk shall not be covered at any levels.



INTERNAL AND EXTERNAL CHOWKS

8.2.14 CINEMA/ THEATRE REDEVELOPMENT.

The marine drive precinct has three theatre's Eros, Metro, and Liberty, which falls under Group A, which are art deco and significant buildings, hence they shall follow the guidelines for Group A stated in Guideline No. 8.1.4.1

8.2.15 FLOOR SPACE INDEX. (F.S.I)

8.2.15.1 F.S.I. computation

- 1) The computation of F.S.I. means total built up area covered on all floors, except exclusions prescribed in D.C.R. 1991.
- 2) If the clear height of the room is less than 4.2 Mts. such area should be counted once in F.S.I. Computation.
- 3) If the clear room height is more than 4.2 Mts. such area shall be counted one and half times.

Notes:

- 1) With written permission of municipal commissioner, following occupancies/user are to be counted once in floor area, even if height of such rooms is more than 4.2 m: -
 - a) Assembly hall.
 - b) Entrance lobbies of residential hotels for 3 star categories and above.
 - c) For the use and occupancy of educational, institutional, industrial buildings warehouses and departmental stores etc.
- 2) Adding mezzanine floor is harmful for the structural stability of building. Therefore mezzanine floor shall not be permitted.

8.2.15.2 Balance plot area: -

Balance plot area means the remaining area of land after deducting areas of public reservations and D.P. roads, set-backs as per the case may be.

**8.2.15.3 Permissible F.S.I. for residential
& commercial plots
Area to be considered for F.S.I.**

Sr.	Plot Area	Computation
1	upto 2125 sq. m	total plot area
2	2125sq.m. to 2500sq.m	2125 sq. m.
3	2501 sq. m upto 20000sq.m.	Plot area minus 15% of layout R.G.
4	above 20000sq.m	Balance plot area (N.P.1.) minus 5% amenity space reservation (if required). (D.C.R.27)

**8.2.15.4 Exclusions from F. S. I
computation**

- 1) Areas covered by staircase, lift and lift passage, against payment of premium as per land rates decides by the corporation from time to time.
- 2) Staircase rooms, overhead tanks on terrace.
- 3) Other features:
 - a) water storage suction tank & pump room
 - b) Septic. Soakpit
 - c) electrical meter room
 - d) Watchman's cabin upto 3sq.mtrs
 - e) Electric substation.
 - f) Porch, canopy.
 - g) Balconies/galleries upto 10% of the floor area
 - h) Chajjas, weather sheds, sun breakers not more than 1.2 Mts. from the face of the building,
 - i) Ornamental projection over the balcony or gallery upto 0.75 Mts.
 - j) Dustbins.
 - k) Fire escapes stairways & fire escape balcony as per Chief Fire Officer's requirements.
 - l) Basements for:
 - i) car parking
 - ii) storage ancillary to the principal,
 - m) Stilt
 - n) Refuge area/floor as per Chief Fire Officer's requirement.
 - o) Air conditioning plant room
 - p) MTNL and radio pager operator room
 - q) Affluent treatment plants.
 - r) Structures permitted in layout R.G.(Refer Guideline 8.2.3)
 - s) PBX box/room for MTNL.
 - t) Letter box at ground floor.

u) 1.52 m. Wide passage required for construction of additional staircase and lift to the existing building at terrace level.

Notes

- 1) Staircase, lift and lift passage area calculation should be inclusive of wall thickness subject to that the said walls are not common with habitable rooms.
- 2) For lift lobby area calculation, the length of lobby should be equal to the width of the lift including walls of the lifts and its width should not exceed depth of the lift.
- 3) no relaxation be permitted by way of premium

8.2.16 ADDITIONAL FLOOR SPACE INDEX: PERMISSIBLE CATEGORIES [D.C.R. 33 (1)]

If there are any new revisions in the development plan regarding reservations shown on listed heritage buildings, the same shall not be implemented unless they are absolutely necessary with the approval of the MHCC.

8.2.16.1 Road widening/ proposed D.P. roads/ new roads:

100% of the F.S.I. of the land so affected by road widening/ D.P. roads/ new roads will be utilised as T.D.R.

8.2.16.2 Educational medical and other institutional buildings D.C.R. 33(2)

An additional F.S.I. to the tune of 100% of net plot area over and above the permissible F.S.I. in the respective zone shall be permitted with compliance of the setback and height guidelines and balance if any will be used as T.D.R.

8.2.16.3 Office buildings of government / Semi-Government and public sector undertakings: -(D.C.R. 33(3))

An additional F.S.I. to the extent of 50% over normal permissible F.S.I. is permitted for the office building/ of government /Semi-Government and public sector undertakings with compliance of the setback and height guidelines and balance if any will be used as T.D.R.

8.2.16.4 Reconstruction of building (A) destroyed by fire. (B) Collapsed. (C) Demolished by order of corporation / MHADA in existence on or after 10 June 1977: DCR 33(6)

Under this category, the building which ceased to exist in consequence of an accidental fire, natural collapse or demolition of buildings declared unsafe by or under lawful order of the CORPORATION / BHADA / MHADA shall be allowed to be reconstructed to the extent of F.S.I. consumed in that of the original building or to the extent of the F.S.I. permissible whichever is higher subject to regulations specified in Appendix II page 79 of DCR 1991. Note: - a) these regulations are not applicable for the reconstruction of buildings wholly occupied by warehousing user and ground floor structures.

8.2.16.5 Reconstruction / redevelopment of cessed building of A category: By owner, co-operative housing society formed by owner/ tenants/ occupiers D.C.R. 33(7)

In this category, the permissible floor space index shall be 2.5 or the existing F.S.I whichever is higher + 50% bonus in form of T.D.R. with compliance of the setback and height guidelines and balance if any will be used as T.D.R.

8.2.16.6 Repairs and reconstruction of cessed buildings and urban renewal schemes: D.C.R. 33(9)

Under these categories, the entire development is carried out by MHADA / BHADA/Corporation as their own scheme and floor space index shall be 2.5 or the existing F.S.I (whichever is higher) + 50% bonus in form of T.D.R. with compliance of the setback and height guidelines and balance if any will be used as T.D.R.

8.2.17 FEATURES PERMITTED IN OPEN SPACES FREE OF F. S. I.

8.2.17.1 Inside or Rear Marginal Open Space

- a) Suction tank, pump room, and septic tank, soak pit.
- b) Electric meter room, substation, garbage shaft, and dustbin. Space required, for fire hydrants, electrical and water fittings, waters tanks for fire fighting.

8.2.17.2 Other Features Permitted In Open Spaces

- a) Compound Wall and gates.
- b) Cantilevered and un-enclosed canopy.
- c) Unenclosed porch.
- d) Balcony / Balconies.
- e) Chajjas, cornice, weather sheds, sun breakers and such other ornamental features projection not more than 1.2 Mts. from the face of the building. Such projections should not reduce width of the required open space to less than 2.5 Mts.

Notes: -

- a) Chajjas, cornice, weather and sun breakers and such projections should not exceed beyond 1.2 Mts. from face of building and there should be a level difference of 0.3 Mts. in relation to the floor level.
- b) Ornamental projection weather shed over a balcony / gallery is permitted to the extent of 0.75 Mts. beyond face of the balcony.
- c) Watchman's booth not exceeding 3 sq. Mts. carpet area.

8.2.18 Habitable rooms minimum size and width

As per table no 18 of D.C.R. 1991

8.2.20 FAÇADE FINISHES

8.2.20 1 All buildings shall be of stone, brick, concrete or steel framed, or of such equivalent construction. porbunder stone shall not be used in the construction of parapets, corbels, brackets and similar exposed parts of buildings.
*

8.2.20.2 There shall be general uniformity and harmony of design as regards prominent



**Alterations: - Grooves Lost Due to Replastering.
(Riveira)**

Source RCACC 2000 / 2001



**Deteriorating Condition of the building Façade
(Moonlight)**

architectural features, height of plinth and colour of external walls in all buildings. *

8.2.20.3 The superstructure shall not be faced externally with natural or artificial stone or shall be cement plastered and finished to resemble natural stone. Buildings shall be cement plastered with plaster grooves accentuating its vertical and horizontal elements .In cases where colour treatment to external facades is proposed, the colours as well as the materials proposed to be used shall be specified and approved by the MHCC except for buildings which originally exist in ashlar or khandki faced masonry.

8.2.20.4 Any building erected upon the land shall be erected in a good and workmanlike manner with new and sound materials of the best description of their several kinds and in strict accordance with plans, elevations, details and specifications * and under the inspection and to the satisfaction of the MHCC.

8.2.20.5 No alteration or addition or demolition shall at any time be made to the architectural features, façade or elevation (including plaster grooves and details) of any building during repairs, rehabilitation or reconstruction without the previous approval * in writing of the MHCC.

8.2.20.6 Curtain walls glazing and glass facades complete or partial shall not be allowed on Marine Drive Precinct.

8.2.21 HEIGHT OF BUILDINGS

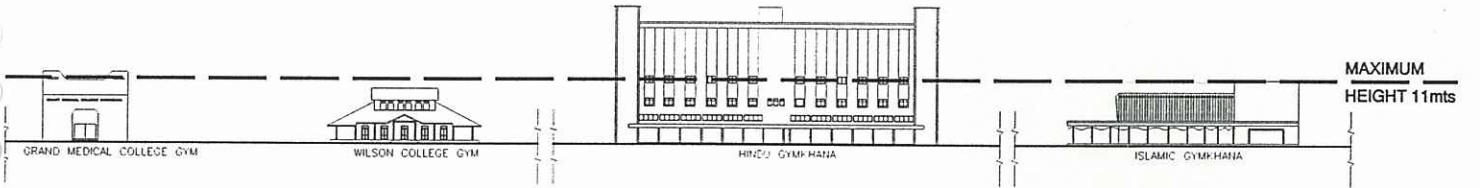
(Refer Drg. 74 & 75)

- a) Notwithstanding anything contained in the Development Control Regulations 1991, for Greater Bombay Marine Drive Precinct the height of the buildings after reconstruction shall be limited to the existing height of the buildings in the surrounding area.
- b) Similarly any new buildings shall conform to the specified height pattern as specified in the table no **8.2.21.1**



SUB PRECINCT 1

MAXIMUM
HEIGHT 24 mts



SUB PRECINCT 2

FOR BUILDINGS BETWEEN GRIDS 48-54

MAXIMUM
HEIGHT 11 mts



SUB PRECINCT 2

FOR BUILDINGS BETWEEN GRIDS 54-64

MAXIMUM
HEIGHT 14 mts



SUB PRECINCT 3

FOR BUILDINGS BETWEEN GRIDS 64-79

MAXIMUM
HEIGHT 24 mts



SUB PRECINCT 3

FOR BUILDINGS BEYOND GRID 79

MAXIMUM
HEIGHT 21 mts

8.2.21.1 Height restriction for the buildings would apply as follows

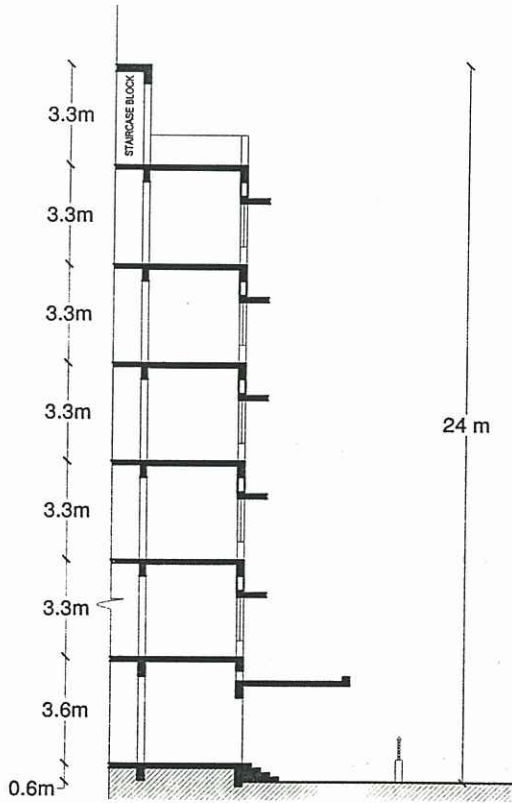
SubPrecinct '1'	SubPrecinct '2'	SubPrecinct '3'
Buildings in this precinct shall have a height restriction of 24 Mts.	Buildings between grid 48-54 shall have a height restriction of 11 Mts. Buildings between grids 54-64 shall have a height restriction of 14.0 Mts.	Buildings between grids 64 - 79 and building abutting S.V.P. road shall have a height restriction of 24 Mts. Buildings in the remaining portion shall have a height restriction of 21 Mts.

8.2.22 Height of Habitable Rooms

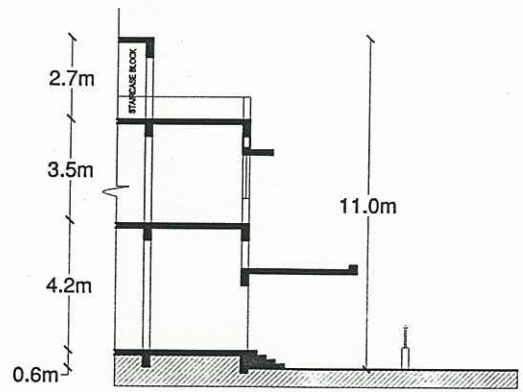
(Refer Drg No. 76)

	Subprecinct "1"	Subprecinct '2'		Subprecinct '3'	
Total Height	24 Mts Grid 1- 48, 101-122, 123- 126, 300-339	11.0 Mts Grid 48-54	14.0 Mts Grid 54-64	24 Mts Grid 64-79	21 Mts Grid 79 onwards
Plinth	60 cms	60 cms	50 cms	60 cms	50 cms
Ground floor	3.6 Mts.	4.2 Mts.	4.2 Mts	4.2 Mts.	4.2 Mts.
Upper floors	3.3 Mts.	3.5 Mts	3.3 Mts	3.3 Mts.	3.4 Mts.
Staircase block / Water tank height from terrace level	3.3 Mts.	2.7 Mts.	2.7 Mts	2.7 Mts	2.7 Mts

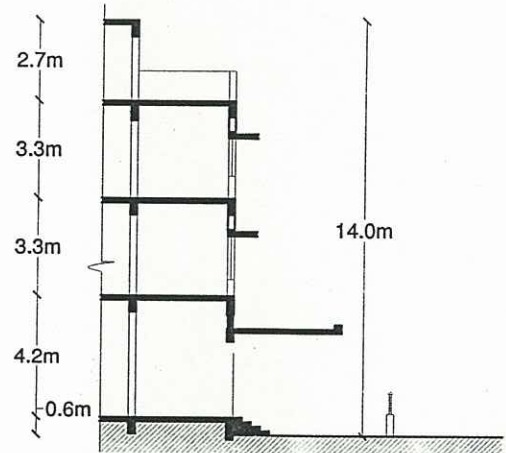
Note - The plinths of all buildings to be erected, exclusive of the coping which may be of cement concrete if so desired, shall be faced with natural or artificial stone of approved quality and colour. The heights of the plinths shall be regulated with reference to the finished levels of the crowns of the roads on which the buildings front.



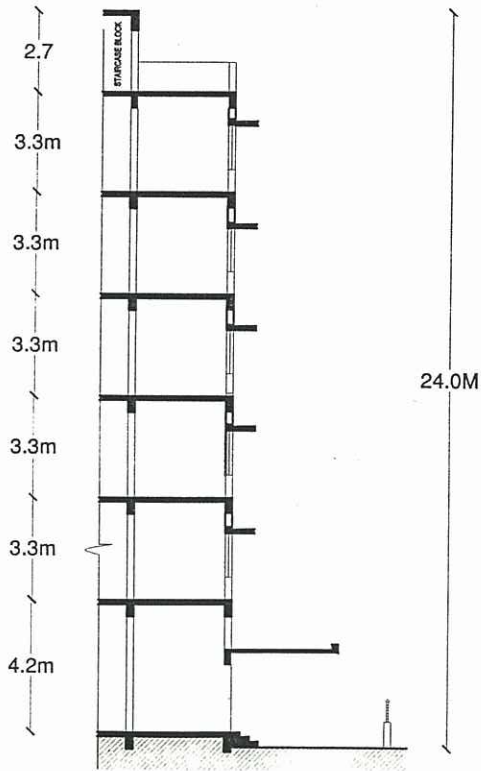
HEIGHT PERMITTED IN SUB PRECINCT- 1
 BETWEEN GRIDS 1-48
 BETWEEN GRIDS 101-122
 BETWEEN GRIDS 123-126
 BETWEEN GRIDS 300 -339



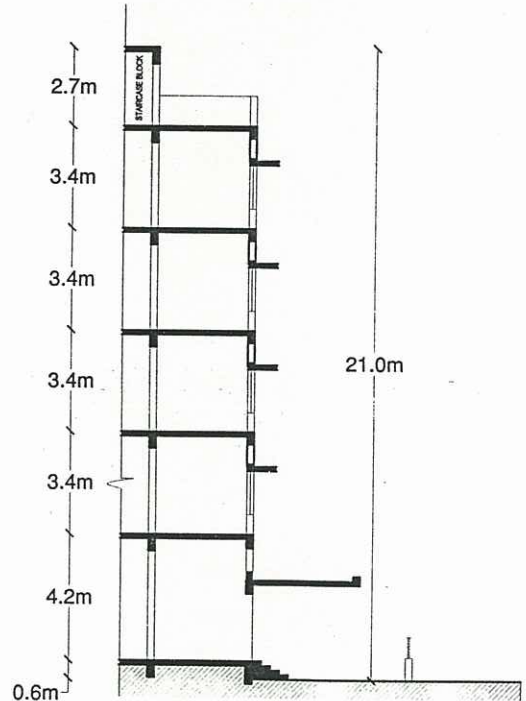
HEIGHT PERMITTED IN SUB PRECINCT- 2
 BETWEEN GRIDS 48 - 54



HEIGHT PERMITTED IN SUB PRECINCT- 2
 BETWEEN GRIDS 54 - 64



HEIGHT PERMITTED IN SUB PRECINCT- 3
 BETWEEN GRIDS 64 - 79



HEIGHT PERMITTED IN SUB PRECINCT- 3
 REMAINING STRUCTURES OF THE SUB PRECINCT

Drg. 76 Height of Habitable Rooms.
 Source RCACC 2000 / 2001

8.2.23 LOFTS

Loft means a residual area created / constructed for storage between a floor and floor and ceiling of any storey.

8.2.23.1 Location & Extent

Lofts for the purpose of storage are permissible in kitchen, habitable rooms, shops, industrial units, over bathroom, W.C, toilets and corridors, free of F.S.I, subject to its coverage (area) and height is restricted as prescribed below: -

Sr. No.	Description	Coverage in terms of percentage
1	Kitchen	25%
2	Habitable Room	25%
3	Bathroom, water closet / toilet	100%
4	Shops with width upto 3 Mts.	33.33%
5	Shops with width exceeding 3 Mts.	50%

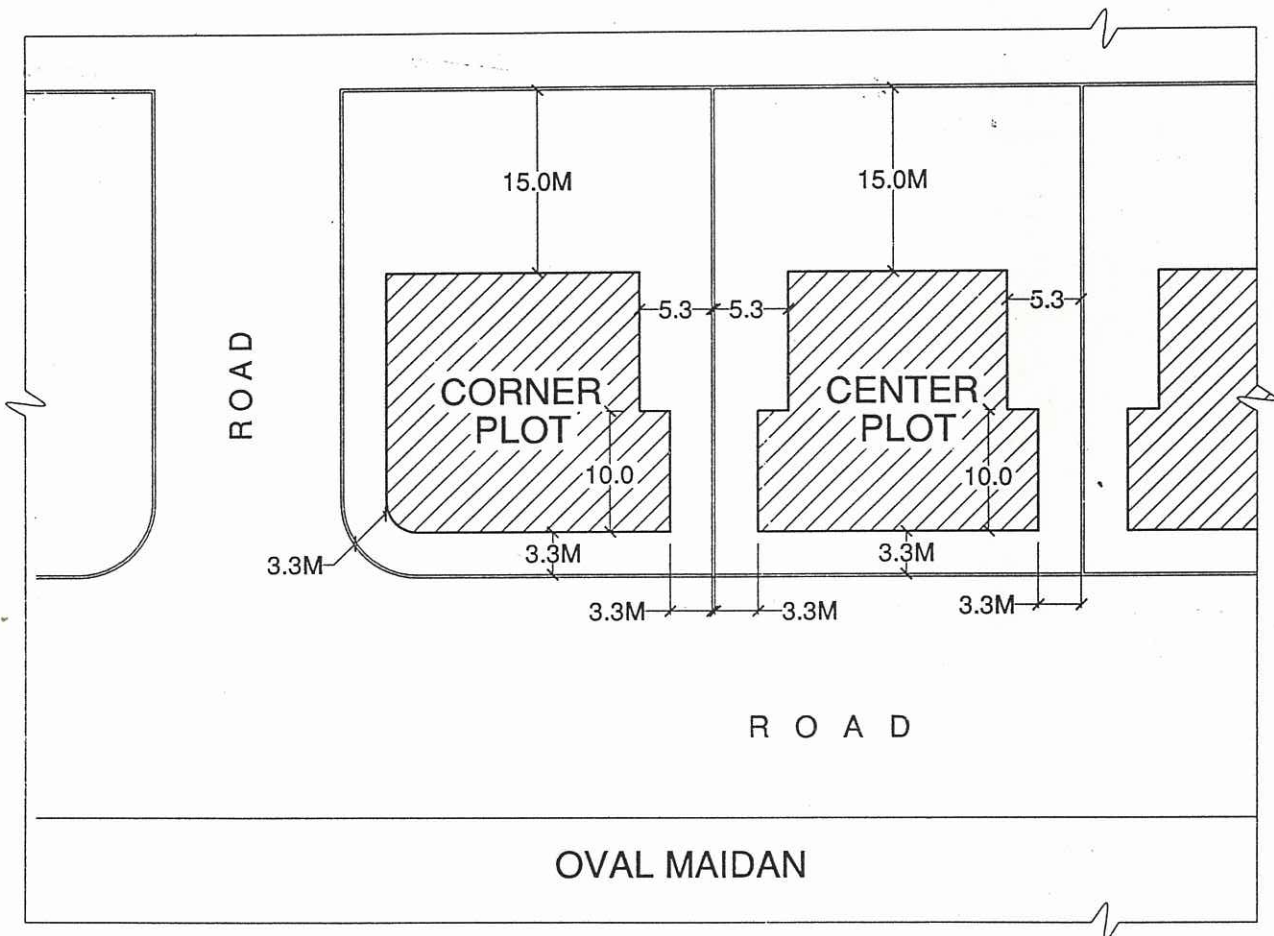
8.2.24 MEZZANINE FLOOR

Adding mezzanine floor is harmful for the structural stability of building. Therefore mezzanine floor shall not be permitted.

8.2.25 OPEN SPACE REQUIREMENTS (Refer Drg 77 & 78)

8.2.25.1 The widths of the open spaces required to be left along the front and the rear boundaries and the side boundaries of the plots in accordance with the following provisions below are the *minimum* and not *mean* widths. These *minimum* widths shall be measured from the faces of the plinths of the buildings (and not from the faces of the superstructures) and shall be shown and clearly figured on a submission drawings stated in the Guideline No. 8.1.6 .

8.2.25.2 Subject to the exceptions mentioned below of these guidelines, the minimum open spaces required to be left on the plots shall be as follows: -



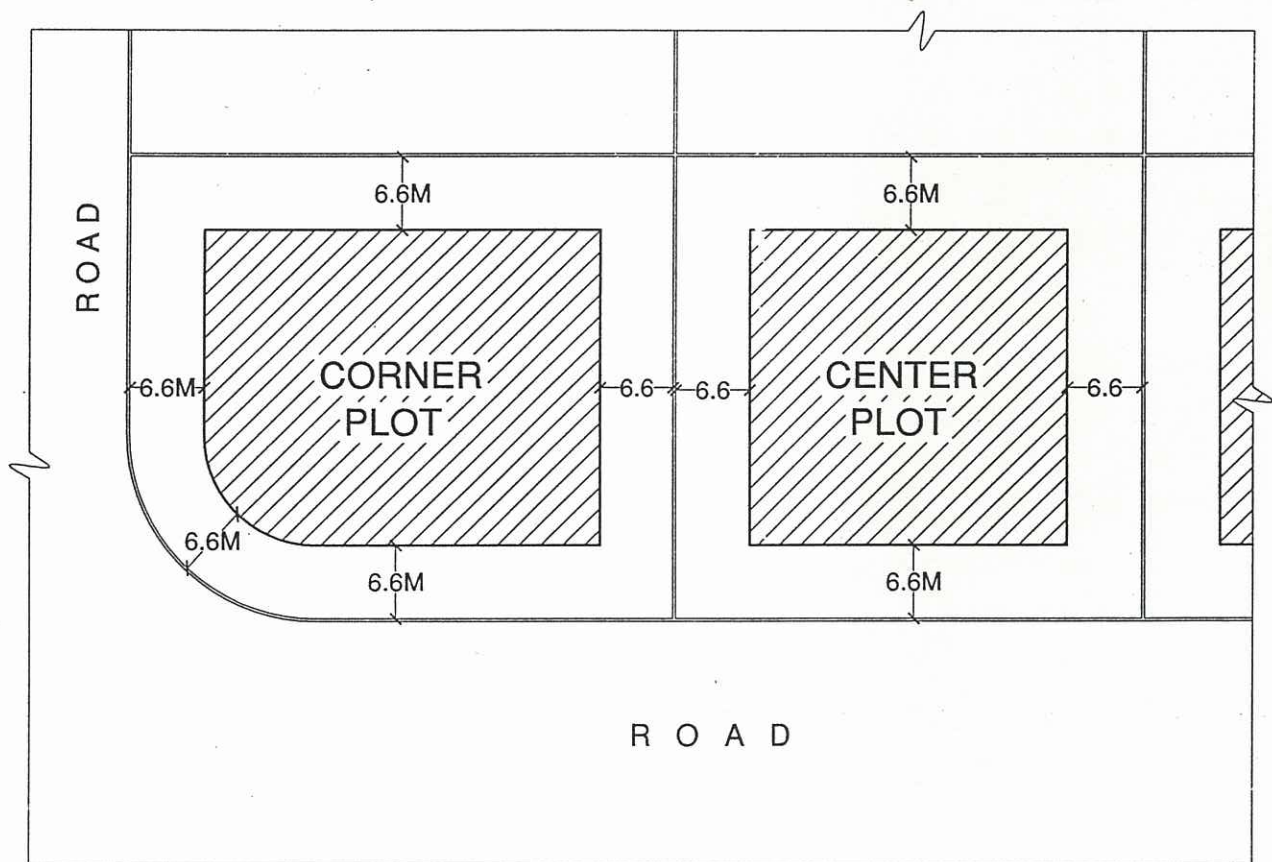
SUB PRECINCT- 1

BETWEEN GRIDS 123-126 & BETWEEN GRIDS 101-122

Drg. 77 Open Space Requirements for Sub Precinct -1.
Source RCACC 2000 / 2001

8.2.25.2.1 Sub-Precinct "1"

	Front open space	Side open space	Rear open space
For buildings in the sub-precinct	6.6 meters	6.6 meters	6.6 meters
Buildings on the Maharshri Karve Road between grids 122 & 101, 123 & 126 facing the oval Maidan	3.3 metres	10 meters. from the front edge of the bldg shall have 3.3 meters as side open space While the remaining shall have 6.6mts as side open space.	15meters



SUB PRECINCT - 1

REMAINING STRUCTURES OF THE SUB PRECINCT

Drg. 78 Open Space Requirements for Sub Precinct -1.
Source RCACC 2000 / 2001

*Exceptions *:-*

a) The corner plot No. 65 situated at the junction of the roads Jamshedji Tata road and Veer Nariman Road shall have minimum open spaces, each 10 metres wide, along its Southern and Western boundary only. An open space not less than 6 metres wide, of the open minimum spaces, each 10 Meters wide, required to be left along the Southern and the Western boundaries of plot no 35 shall be used as a service road, and the remaining open spaces each not exceeding 3.3 metres wide may be built upon to the extent allowed by the BMC for the purpose providing garages and necessary adjuncts thereto which shall not be more than 3.3 metres feet in overall height and shall have flat roofs.

b) All the plots fronting Queen's road (Maharishi Karve Road), with the exception of the corner plot No. 393 and the plots Nos. 15 and 15a shall contain the following minimum open spaces in lieu of the minimum open spaces prescribed above-

3.3 meters in the front

3.3 meters along the boundary on each side up to the depth of 10 metres from the front building edge on Maharishi Karve Road;

5.3 meters feet along the boundary on each side beyond a depth of 10 metres from the front building edge on Queen's Road;

6 metres along the rear boundary;

c) Provided that the rear open spaces prescribed in clause b) of this guidelines including the open spaces required to be left at the corners at both the ends of the rear boundary of a plot may be built upon to the extent allowed by the BMC for the purpose of providing garages and necessary adjuncts thereto which shall not be more than 3.3 metres in overall height and shall have flat roofs.

Note:- The corner plots Nos. 11, 16, 19, and 22 shall, however, be required to have a minimum open space, 3.3 meters wide, on their Northern boundaries and this open space shall be carried on a curve to join a minimum open space 3.3 metres wide on their Eastern boundaries. Similarly, the corner plots Nos. 9, 17, 20 and 380 shall be required to have a minimum open space, 3.3 meters wide, on their

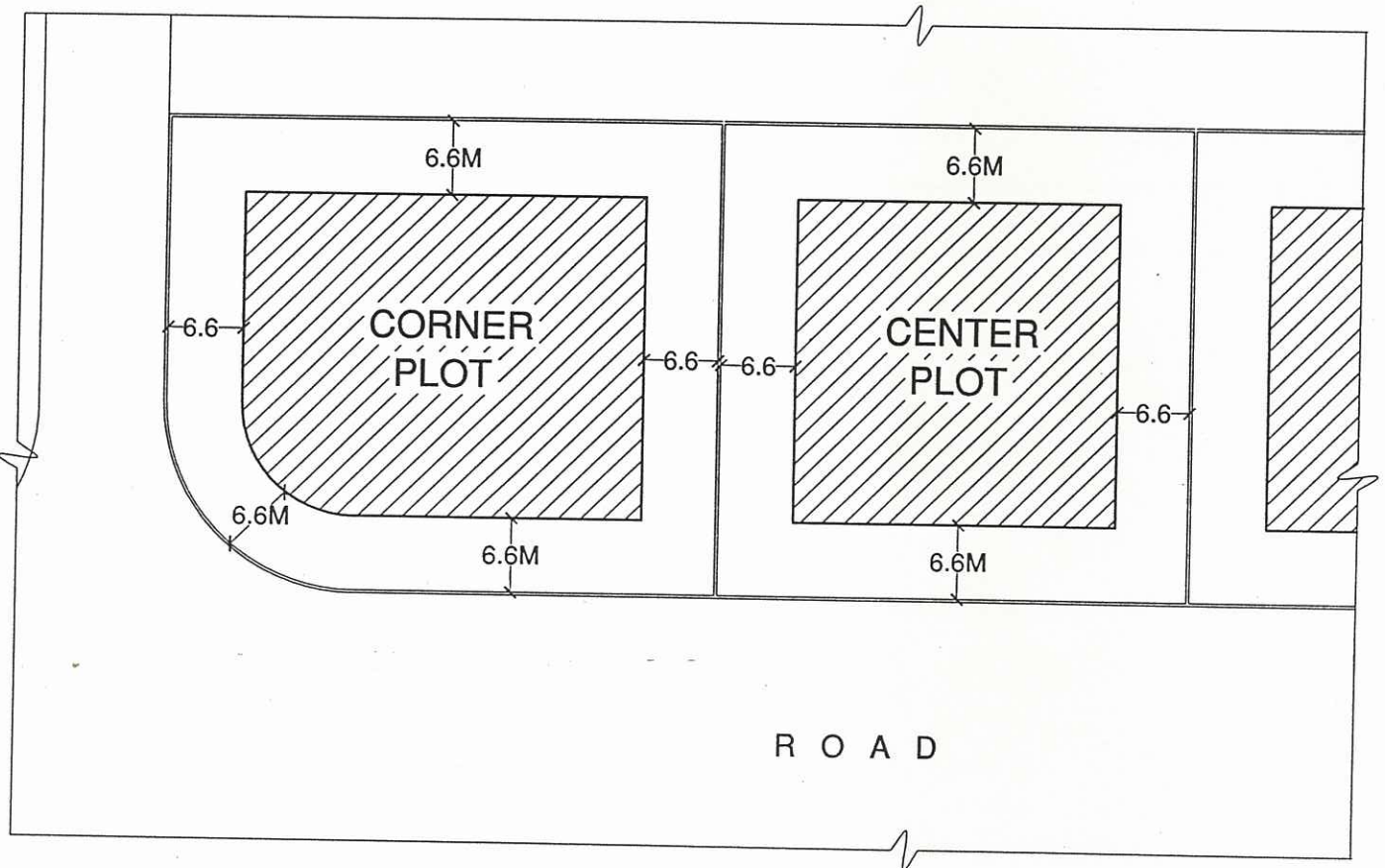
Southern boundaries and this open space shall be carried on a curve to join the minimum open space, 3.3 meters wide, on their Eastern boundaries.

d) The corner plot no 393 (irrespective of the class of building to be erected on it shall contain a minimum open space, 6.6 wide, along its Southern boundary only. This rear open space may be built upon to the extent allowed by the BMC for the purpose of providing garages and necessary adjuncts thereto and an electric transformer station which shall not be more than 3.3 meters in overall height and shall have flat roofs. The building to be erected on this plot may abut on the pavement along the Queens Road (Maharishi Karve Road) and Jamshedji Tata Road.

e) The plots Nos. 15 and 15a shall contain the following minimum open spaces: -
3.3 meters along the frontage of the plot on Queen's Road (Maharishi Karve Road);
6.6 metres along the boundary on each side of the plot;
6.6 meters along the rear boundary. This open space including the open spaces required to be left at the corners at both ends of the rear boundaries of the plots may be built upon to the extent allowed by the municipality for the purpose of providing garages and necessary adjuncts thereto which shall not be more than 6.6 meters in overall height and shall have flat roofs.

8.2.25.2.2 Sub-precinct "2" (Refer Dwg 79)

	Front open space	Side open space	Rear open space
For buildings in the sub-precinct 2	6 meters	6 meters	6 meters



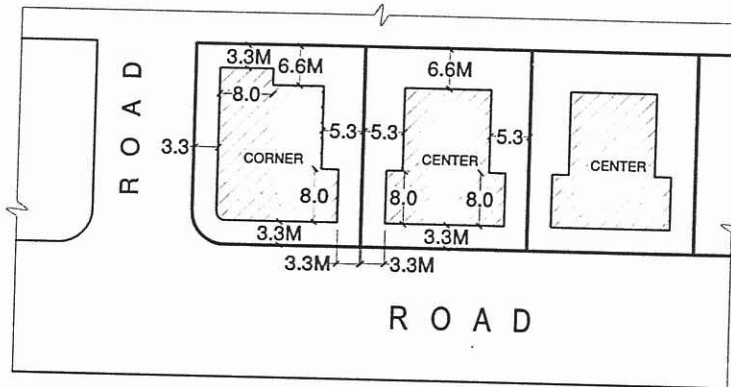
SUB PRECINCT - 2

ALL STRUCTURES BETWEEN GRID NO 48 - 64

Drg. 79 Open Space Requirements for Sub Precinct -2.
Source RCACC 2000 / 2001

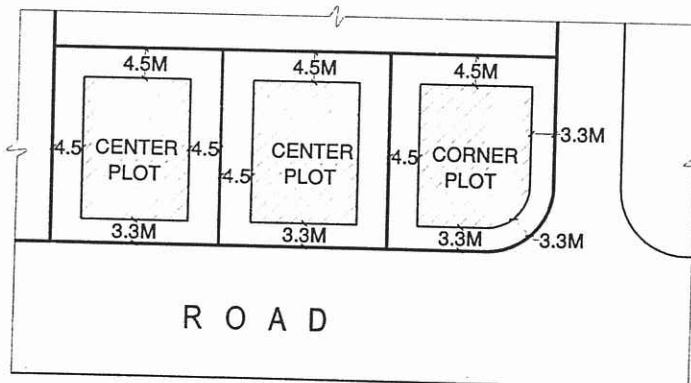
8.2.25.2.3 Sub-precinct "3" (Refer Dwg 80)

	Front open space	Side open space	Rear open space
For buildings in the sub-precinct 3	3.5 metres	4.5 metres	4.5 metres
For buildings abutting the Sardar Vallabhai Patel Road, buildings abutting K.M. Munshi Marg, Sitaram Patkar Marg and the building on the Dr. N .A. Purandare marg between grids 64-79.	3.5 metres	8 meters from the front edge of the bldg shall have 3.5 metres. as side open space While the remaining shall have 6.6 metres as side open space	6.6 metres



SUB PRECINCT - 3

- BLDGS ON DR. PURANDARE MARG BETWEEN GRID 64 - 79
- BLDGS FRONTING SARDAR VALLABHAI PATEL MARG (FACE 79 / B - U, FACE 80-181/ B - R)
- BLDGS FRONTING DR. ATMARAM RAMCHANDRA RANGNEKAR MARG (FACE 84 / B - R, FACE 86 / B - R)
- BLDGS FRONTING SITARAM PATKAR MARG (FACE R / 181 - 201, FACE R / 400 - 408, 196 - 204)
- BLDGS FRONTING K. M. MUNSHI MARG (FACE J/ 186 - 195, FACE K/ 186 - 195)



SUB PRECINCT - 3

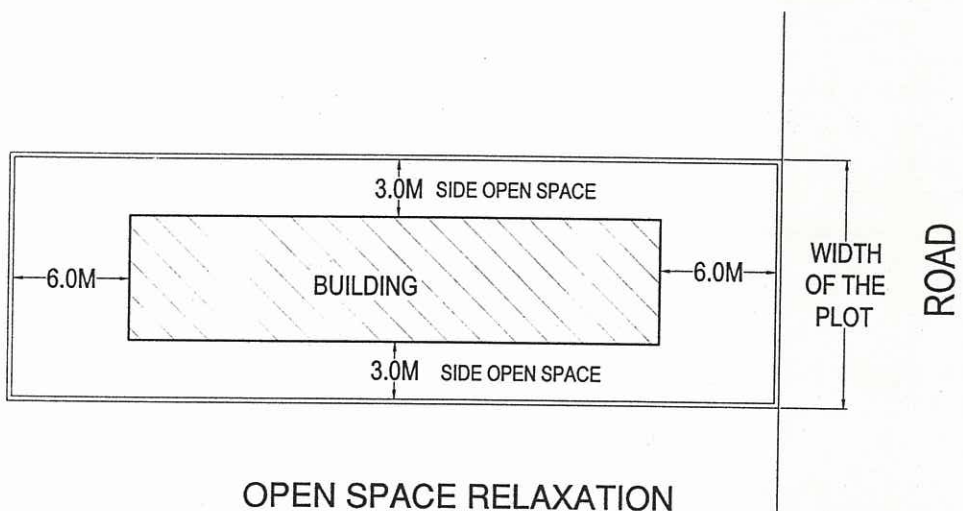
REMAINING STRUCTURES OF THE SUB PRECINCT

8.2.26 OPEN SPACE RELAXATION (Only in Sub-precinct “3”)
 (Refer Drg.81)

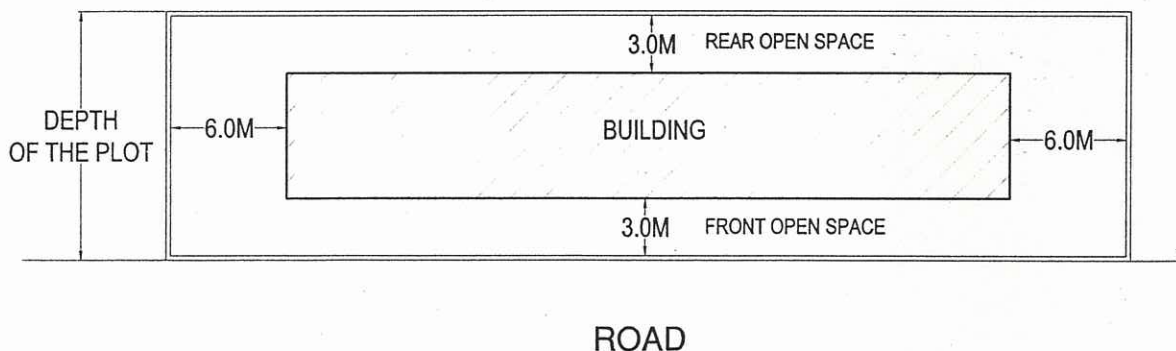
Sr.no	Plot dimension	Relaxation	Restrictions on building
1	Depth less than 15 Mts.	Rear open space may be reduced to 3mts	No room except storeroom and staircase derives light and ventilation from reduced open space.
2	Width less than 15 Mts. but more than 11.5m	Side open space may be reduced to 3mts	No room except storeroom and staircase derives light and ventilation from reduced open space.

Notes:

1. Dimension of any building proposed in narrow plot shall not exceed 30m
2. The commissioner shall prescribe building line in a layout where majority plots are less than 11.5m in width or depth on the recommendations made by the heritage committee



NOTE: IF THE WIDTH OF THE PLOT IS LESS THAN 15M BUT MORE THAN 11.5M THEN THE SIDE OPEN SPACE MAY BE REDUCED TO 3M



NOTE: IF DEPTH OF THE PLOT IS LESS THAN 15M THAN THE FRONT AND THE REAR SET BACK IS REDUCED TO 3M

8.2.27 PORCH

This is supported unenclosed projection from the building line in front of a main entrance of building. Its length should not exceed more than 3.5 Mts. and its outer edge shall not be less than 1.5 Mts. from the plot boundary.

8.2.28 PARKING SPACE REQUIREMENT

Table -15 of D.C.R. 1991

Sno	Occupancy	Parking space required
1	Residential	In Malabar hill area , one parking space for every:- a) Tenement with a carpet area upto 45 sq. Mts. b) 2/3 tenement with carpet area upto 100sq. Mts. 1/2 tenement with carpet area exceeding 100 sq. Mts. in the rest of the precinct area, one parking space for every :- 4 tenements having carpet area above 35 sq. Mts. each 2 tenements with carpet area exceeding 45 sq. Mts. but not exceeding 70 sq. Mts. each 1 tenements with carpet area exceeding 70 sq. Mts. note: in addition to parking spaces specified in a), b), and c) above, parking spaces for visitors shall be provided to the extent of at least 25% of the number stipulated above subject to a minimum of one.
2	Educational institutions.	One parking space for 70 sq. Mts. carpet area of the administrative office area and public service area.
3	Assembly and assembly hall or auditorium (including those in educational uses and hostels)	One parking for every :- a) 25 seats/ persons b) 30 sq. Mts. of floor area (with fixed seats) Note: for canteen bar, restaurant etc. additional parking required under these rules for other permissible users as per provisions made herein for such purposes shall be provided.
4	Industrial	One parking space for 300-sq. Mts. of floor area subject to a minimum of two spaces.
5	Hospital and medical institutions	One parking space for every 300-sq. Mts. of total floor area, except that it would be one parking space for every 600 sq. Mts. Of total floor area in the case of government and municipal hospital and medical institutions. In addition, one parking space for ambulance parking measuring 10m x 4m. For hospitals or medical institutions with bed strength of 100 or more.
6	Cinemas and theatres	Parking spaces equivalent to four %of the total no of seats with additional parking as otherwise required for other permissible users in conjunction with that of a cinema/theatre



8.2.27.1 Parking Space

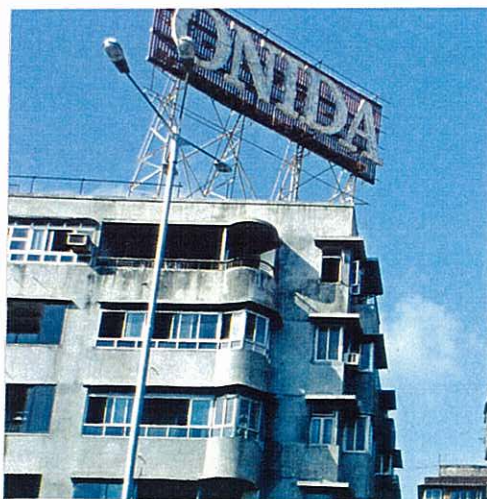
- a) Underneath the bldg in the basement upto second level.
- b) No stilt parking is allowed.
- c) In side open space which shall not be covered
- d) Minimum distance of 3m around the bldg shall be kept free of parking for proper maneuverability of vehicles and movement of fire engine.

8.2.28 SIGNAGE

8.2.28.1 Signage or display of any form, on any building or erection built or erected, any sky signs, sign boards, advertisements or any permanent or temporary attachment whatever the nature of an advertisement shall not be permitted in the precinct. Provided always that a small nameplate may be affixed to the entrance door of any flat occupied by any person and a convenient position outside the building near the compound gates and that small boards indicating the names of the tenants and the numbers of the flats occupied by them may also be affixed to the wall in the main entrance hall of the building erected upon the premises and as approved* by and to the satisfaction of the MHCC.



8.2.28.2 The designs of all new buildings (other than private, residential) shall provide for suitable spaces for signboards, name plates and inscriptions, and the general arrangement of these shall be shown on the drawings. Sign boards and name plates shall be permitted only when appropriate spaces are provided for them and on approval of the MHCC



8.2.29 STAIRCASE, LIFT WELL AND LIFT PASSAGE

8.2.29.1 Requirements For Stairways

1. Flight: No flight shall contain more than 12 risers. However for residential buildings in narrow plots and in high density housing a single flight staircase will be permitted.
2. Risers: The maximum height of the riser will be 19cms in a residential building and 15cms in any other occupancy. However on an

Disruptive Signages on Buildings
Source RCACC 2000 / 2001

internal stairway within a dwelling unit a riser may be 25cms high.

3. Treads: The minimum width of the tread (with out nosing) shall be 25cms for residential buildings and 30cms for other occupancies.

4. Headroom: The minimum headroom in a passage/ under the landing of the staircase shall be 2.2m.

8.2.29.2 Travel Distance:

The travel distance on the floor from any exit (staircase) shall not exceed 22.5m. For the residential, educational, Institutional and hazardous occupancies, and 30 m for assembly, business and storage buildings.

Note: travel distance to any exit from the dead end of the corridor shall not exceed half the distance specified above.

8.2.29 TRANSFER OF DEVELOPMENT RIGHT

Regulations for the grant of transferable development right (T.D.R.) to owners / lessees of the buildings in Marine Drive precincts and conditions for grant of such rights.

a) As provided in regulation 67(6) development rights (DR) of the owner/lessee of any heritage building who suffers loss of development rights due to any restrictions imposed by the commissioner or government under regulation 67 shall be eligible for award of transferable development rights (TDR) in the form of floor space index (FSI) to the extent and on the conditions set out below. Such award will entitle the owner of the heritage buildings to FSI in the form of a development rights certificate (DRC) which he may use himself or transfer to any other person.

b) DRC will be issued only on the satisfactory compliance with the conditions prescribed in this appendix.

c) If a holder of a DRC intends to transfer it to any other person, he will submit the DRC to the commissioner with an appropriate application for an endorsement by the commissioner himself, the transfer shall not be

valid and the certificate will be available for use only by the earlier original holder.

d) A holder of a DRC who desires to use the FSI credit certified therein on a particular plot of land shall attach to his application for development permission valid DRC'S to the extent required.

e) DRC'S MAY BE USED:

On any plot in the same ward as that in which they have originated or any ward in the suburbs except as specified in the clause (6) below.

f) A DRC SHALL NOT BE VALID for use in receivable plots in the areas listed below:-

1 On plots falling within 50m. on roads on which no shops are permitted as specified in sub-regulation (2) of regulation 52 of DCR 1991

2 coastal areas and areas in no development zones, tourism development zones, and areas for which the Bombay metropolitan region development authority or Maharashtra housing and area development authority is the special planning authority;

3 On plots for housing schemes of slum dwellers for which additional FSI is permissible under sub-regulation (10) of regulation 33 of DCR 1991.

4 Any heritage building.

5 Any heritage precinct, except with the prior approval of the heritage conservation committee and subject to compliance with the regulations of the particular precinct.

g) The user that will be permitted for the utilisation of the DRCs on account of transfer of development rights will be as under:-

Zone in which designated/reserved plot is situated	User to be permitted in receiving areas
Residential..	Only residential users and in residential zones only.
Commercial (C-2)	Commercial; (C-2) users if the plot where the FSI is to be utilised is situated in C-1 zone. Residential only in residential zones.
Commercial(C-1)	Commercial (C-1) if the plot where the FSI is to be utilised is situated in C-1 Zone. Residential in residential zones.

h) DRC'S may be used on one or more plots of lands whether vacant or already developed or by the erection of additional storeys, or in any other manner consistent with these regulations, but not so as to exceed in any plot a total built-up FSI higher than that prescribed in clause 9 below in this appendix.

I) The FSI of a receiving plot shall be allowed to be exceeded by not more than 0.4 in respect of a DR available in respect of a heritage building and upto a further 0.4 inn respect of land surrendered for road widening or construction of new roads [according to sub-regulation (1) of regulation 33], where the said road as shown as passing through the receiving plot itself.

J) With an application for development permission, where an owner/lessee seeks utilisation of DRs, he shall submit the DRC to the commissioner who shall endorse thereon in writing to figures and words, the quantum of the DRC proposed to be utilised, before granting development permission, and when the development is complete, the commissioner shall endorse on the DRC in writing, in figures and words, the quantum of DRs actually utilised and the balance remaining thereafter, if any, before issue of occupation certificate.

K) A DRC shall be issued by the commissioner himself as a certificate printed on bond paper in an appropriate form prescribed by the commissioner. Such a certificate will be transferable "negotiable instrument" after due authentication by the commissioner. The commissioner shall maintain a register in a form considered appropriate by him of all transactions ,etc. relating to grant of utilisation of DRCs



8.2.31 Details

The Art Deco Buildings of the Marine Drive precinct have a distinct stream lined look which is articulated by a number of key elements the most prominent being the pilasters, the rising staircase blocks, balconies, terrace details, plaster patterns, door/window detailing, building name fonts and finishes. These distinguishing features of the style were added on to simple, clean shapes, often with a dominant "Modern" look. The ornament is usually geometric or stylised from representational forms.

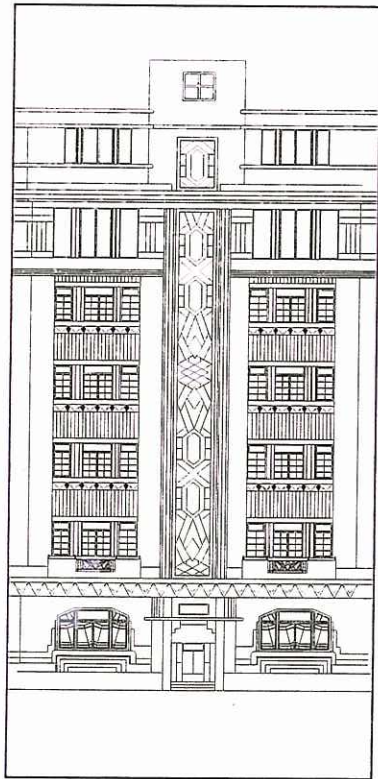


Following are few details of the Entrances, Vertical / Horizontal elements and openings from the Marine Drive Precinct which would serve as references for any further work on the buildings in the precinct.

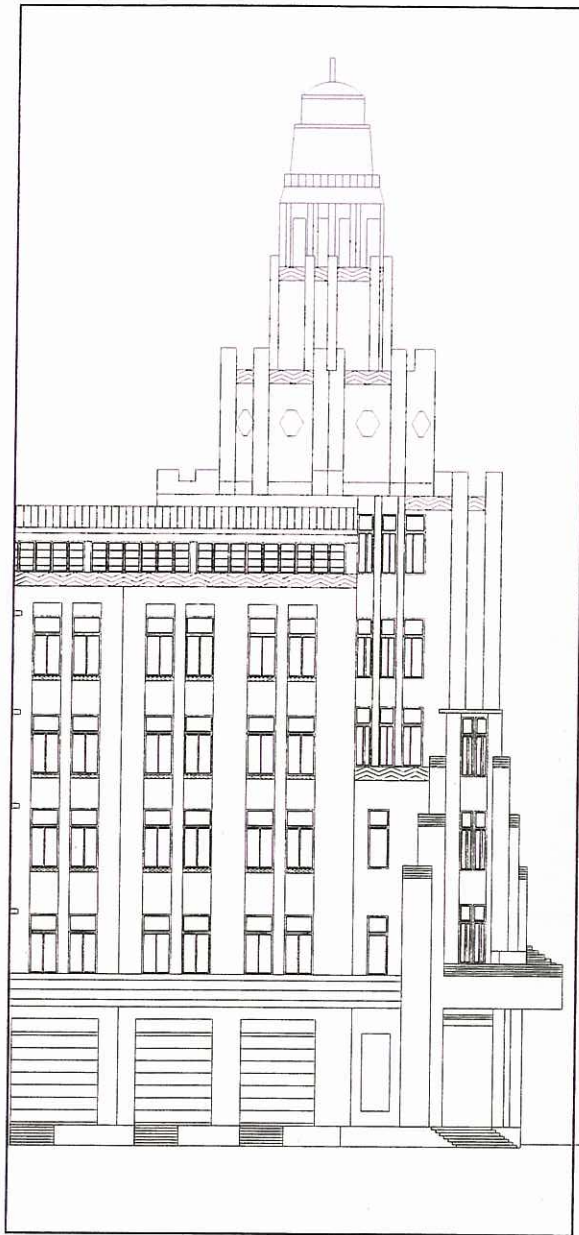
Refer Drg. No.82, 83, 84, 85, 86 & 87



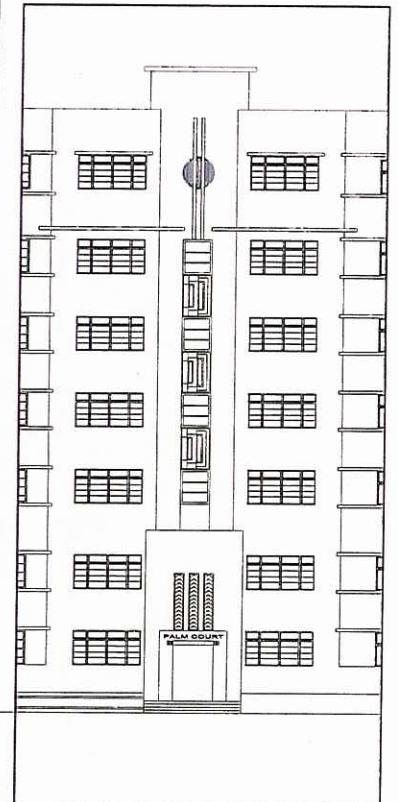
Articulated Elements in Marine Drive Precinct
Source RCACC 2000 / 2001



RAJJAB MAHAL



EROS



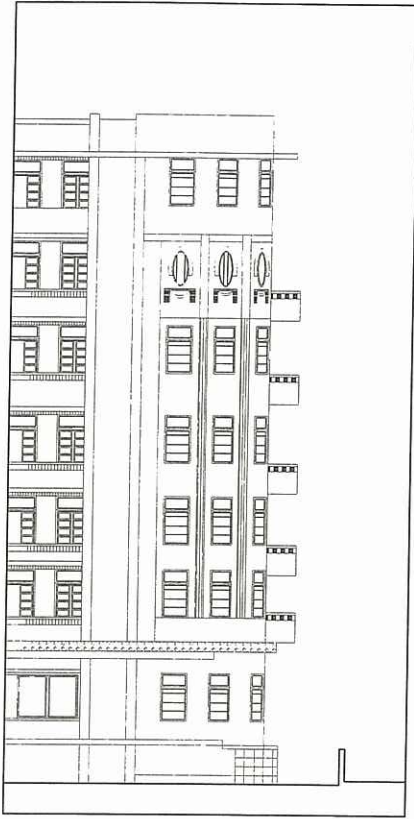
PALM COURT



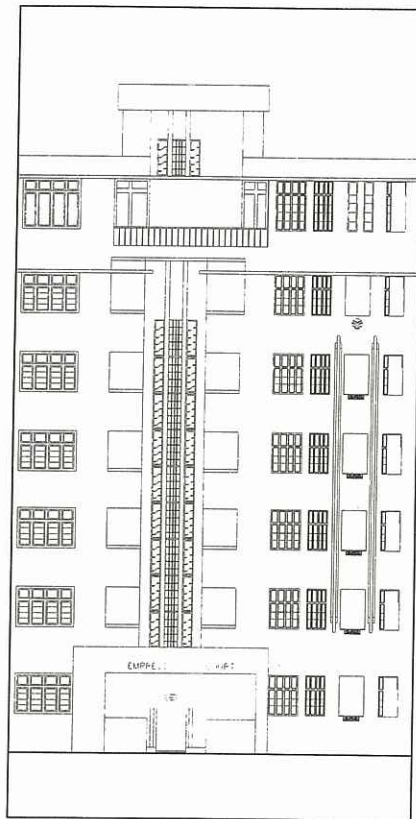
Greenfield Building & Ivorine Building
Source RCACC 2000 / 2001



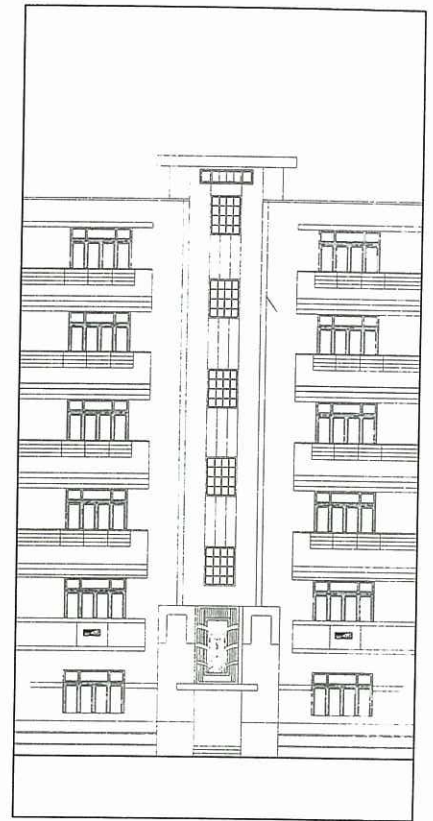
Drg. 82 Vertical / Horizontal Elements.
Source RCACC 2000 / 2001



IVORINE



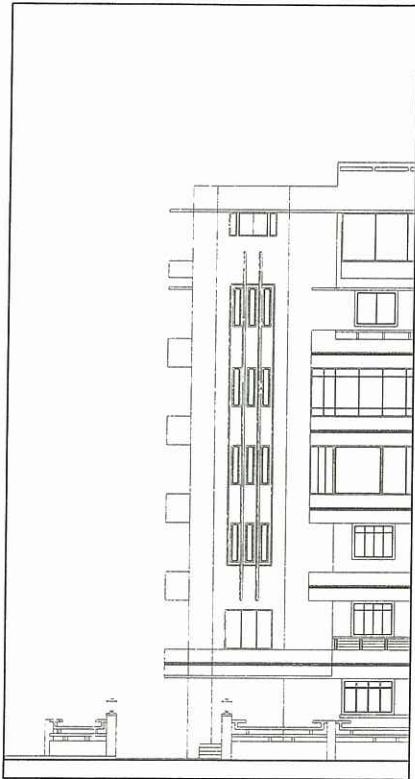
EMPRESS COURT



COURT VIEW



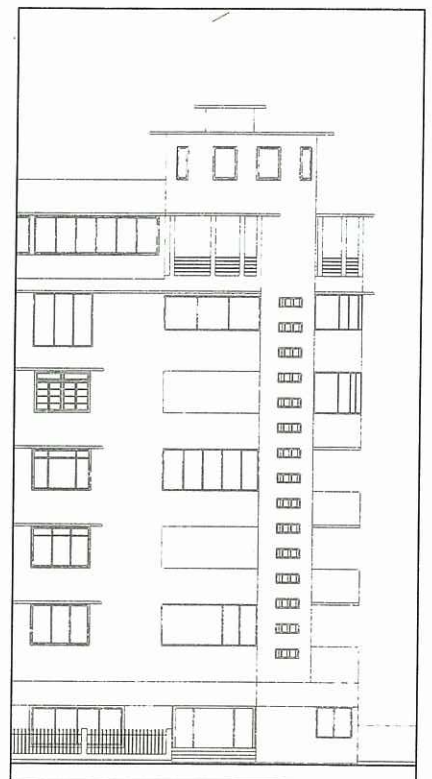
Drg. 83 Vertical / Horizontal Elements.
Source RCACC 2000 / 2001



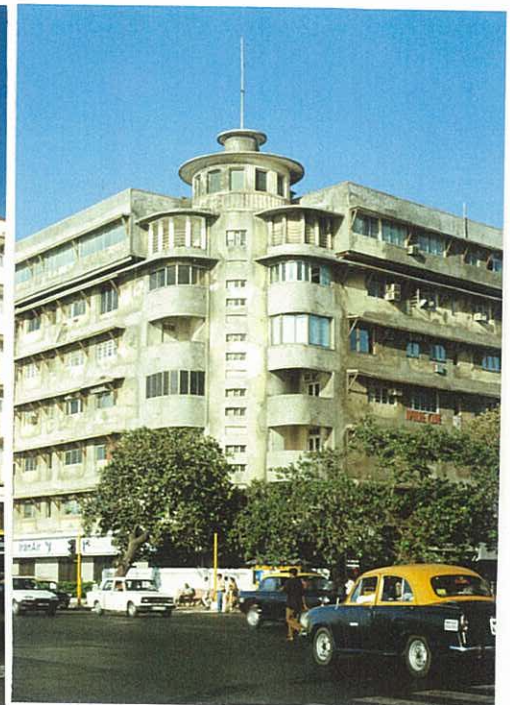
SHAIKH SARIYA BUILDING



SOONA MAHAL



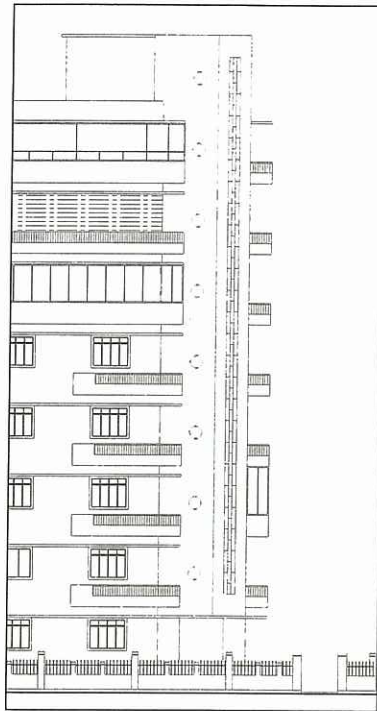
HOTEL DELAMAR



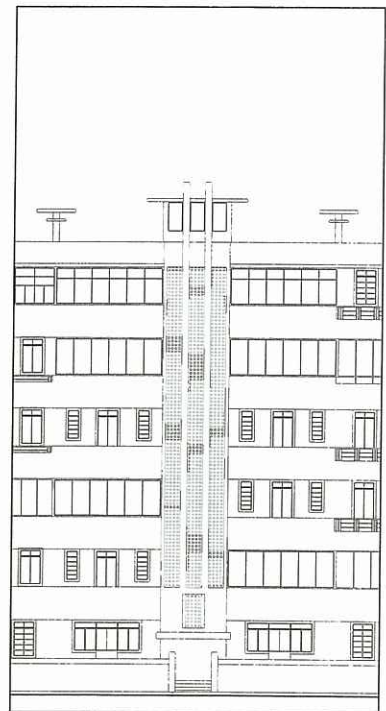
Drg. 84 Vertical / Horizontal Elements.
Source RCACC 2000 / 2001



SIR JAMES COURT



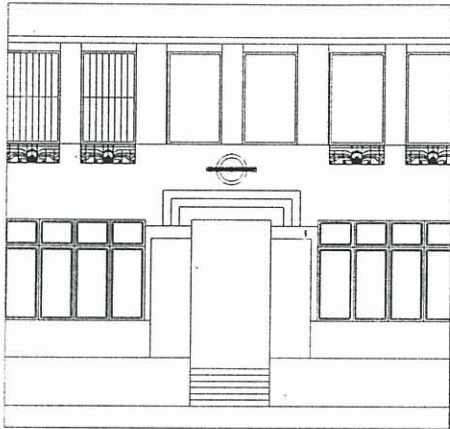
KRISHNA MAHAL



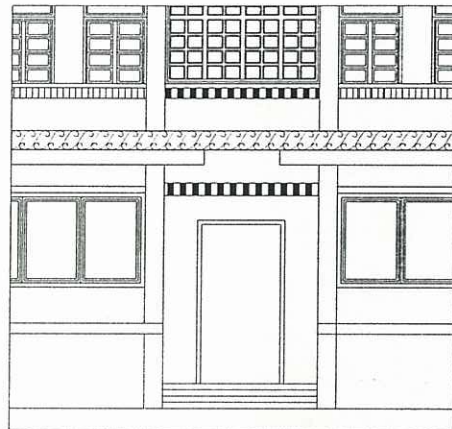
CHATEAU MARINE BUILDING



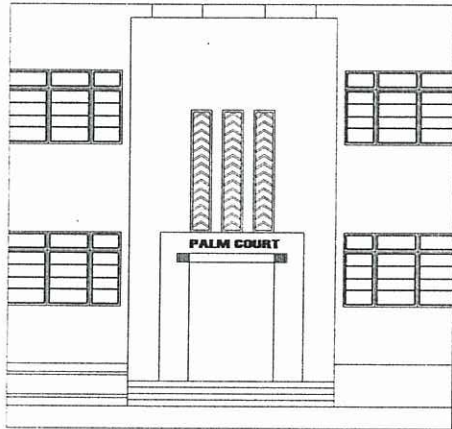
Drg. 85 Vertical / Horizontal Elements.
Source RCACC 2000 / 2001



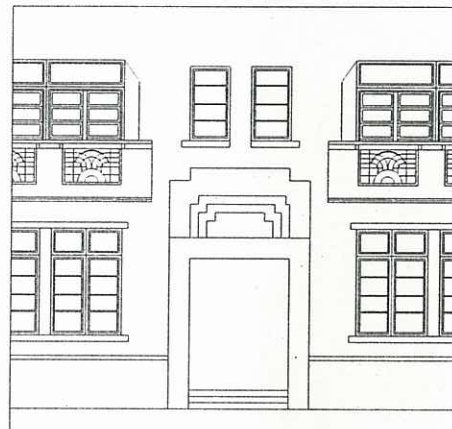
SUN SHINE



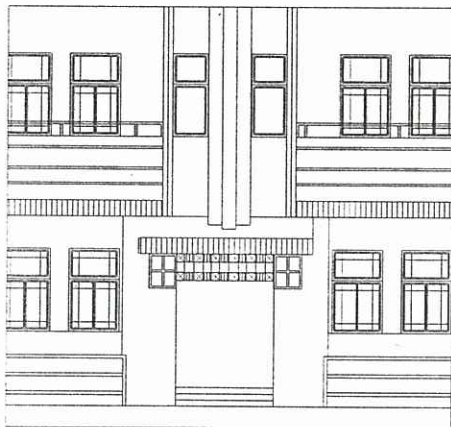
IVORINE



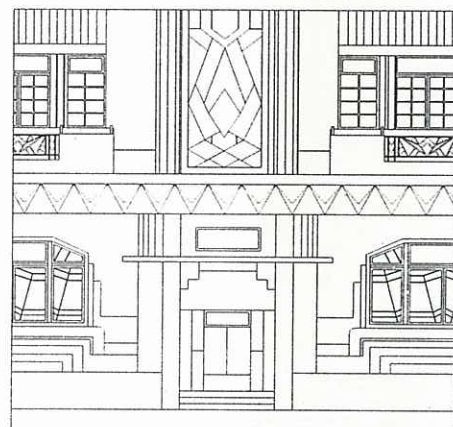
PALM COURT



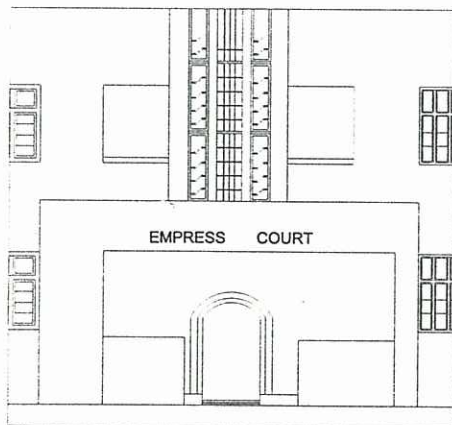
OVAL VIEW



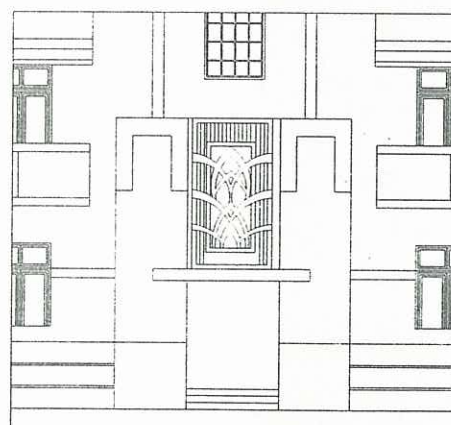
FAIR LAWN



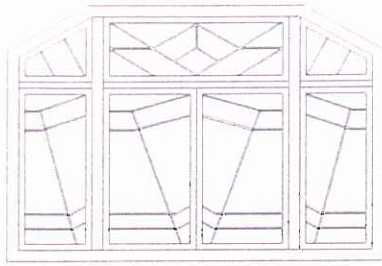
RAJJAB MAHAL



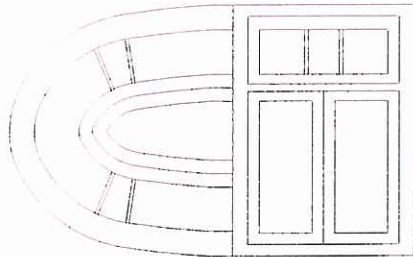
EMPRESS COURT



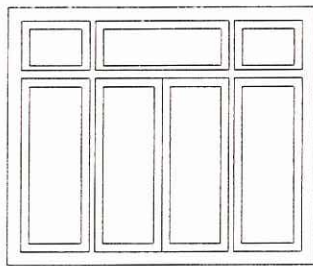
COURT VIEW



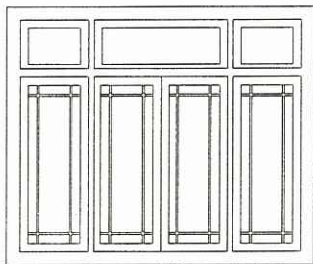
TYPE 1



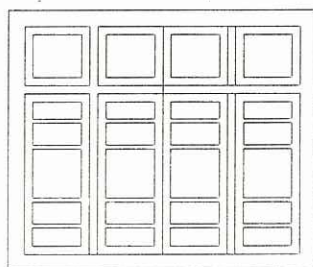
TYPE 2



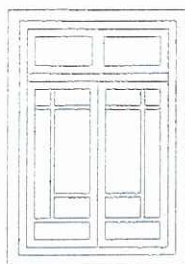
TYPE 3



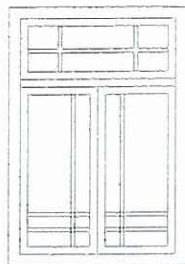
TYPE 4



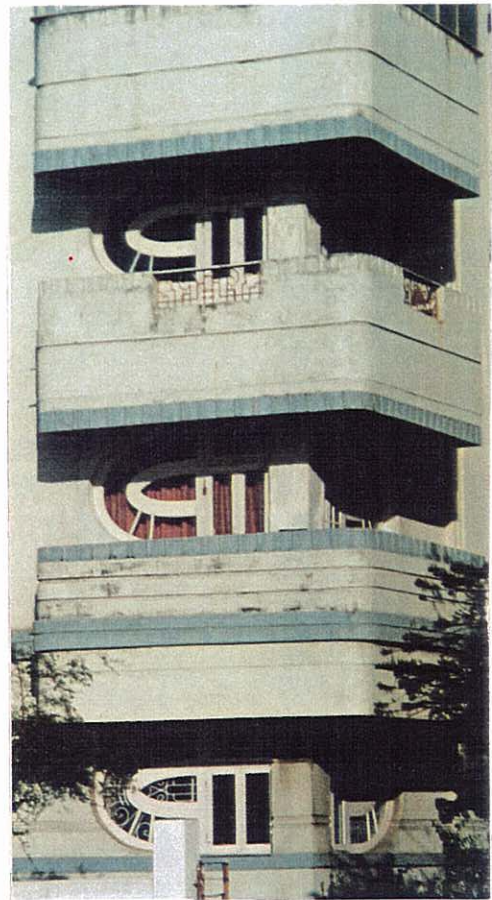
TYPE 5



TYPE 7



TYPE 8



Window Detail
Source RCACC 2000 / 2001



Window Details
Source RCACC 2000 / 2001

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