

Heritage Sites in Pen	
Ref. No.	Name of property
P - 01	Ahilya Mandal
P - 02	Ambika Mandir
P - 03	Asha Niwas
P - 04	Beth Haelohim Synagogue
P - 05	Bhagwat Wada
P - 06	Bridge
P - 07	Datar Ganpati Mandir
P - 08	Datar Wada
P - 09	Deodhar Wada
P - 10	Despande Wada (Ziral Ali)
P - 11	Dharkar Wada
P - 12	Ganpati Mandir - Chavadinaka
P - 13	Ghangrekar Wada
P - 14	Gosavi Datta Mandir
P - 15	Goteswar Mandir
P - 16	Hanuman Mandir
P - 17	Hazare Wada
P - 18	Patil House
P - 19	Jari Mari Aai Mandir
P - 20	Patwardhan House
P - 21	Karmarkar Wada
P - 22	Kasar Tale
P - 23	Kelkar Wada
P - 24	Kolhatkar Wada
P - 25	Kumbhar Tale
P - 26	Kaundal Tale
P - 27	Limaye Wada
P - 28	Londhe Wada
P - 29	Mandlik Wada
P - 30	Manohar Chawl
P - 31	More Wada
P - 32	Motiram Talav
P - 33	Parmar Wada
P - 34	Tilak Wada 1
P - 35	Tilak Wada 2
P - 36	Tilak Wada 3
P - 37	Vishweshwar Mandir
P - 38	Ziral Ali Ganpati Mandir
P - 39	Tipecha Maruti Mandir
P - 40	Rameshwar Mandir
P - 41	Mahakali Mandir

	Precincts
P P 1	Ganpati Idols Karkhana Lane
P P 2	Tipecha Maruti Precinct

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Ahilya Mandal

BASIC DETAIL

1.1	Premise Name	Ahilya Mandal
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	03
	Village	Pen
	Identification	Ahilya Mandal Ziral Ali
1.03	Internal Reference Number	
1.04	CS No	1125-28
1.05	Street Name 1	Ziral Ali
1.06	Street Name 2	
1.07	Area / Locality	Ziral Ali, Pen
1.08	Nearby landmark if any	Near Ganpati Mandir
1.09	Pin Code	402107
1.10	Current Owner	Ghate & Others
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Ground Floor Hospital and First Floor Girls Hostel
1.14	Type of Use	Mixed
1.15	Age	approx 100 years
1.16	Plot Area (sq.mt)	424.8 Sq.Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	III
1.20	Brief Detail	The building is an erstwhile single family private residence now converted into a community facility. The structure is a unique variation on the predominant large residential typology of the region. It is a ground + 1 timber and brick building with a double lean-to tin roof. It is in a good condition for its age. It has good woodwork.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	Not available
2.03	Extensions/ Modifications Details	Changes in use but no significant physical change in outer character
2.04	Earlier Name(s)	Property belonging to Mr Vitthal Joshi bought by Mr Gajanan Ghate in 1937

2.05	Earlier Use(s)	Private residence
2.06	Historical Significance	The building was a private residence of the Ghate family built in the early 20th century. Its occupancy subsequently changed to a mixed use property occupied presently by Ahilya Mahila Mandal which currently runs several community welfare amenities from here viz: Indira Sanskrit school, Dr Ghate health centre, Sanjeevan Senior Citizen's Home and Anandi Hostel.
2.07	Cultural Significance	Fulfills a number of social needs like a school, hostel, health centre and senior citizen's home.
2.08	Architectural Significance	The building largely confirms to the large town residence typology of the region. It is a G+ 1 building with an additional attic floor under the double lean-to roof. From the street, it is a symmetrical building with a balcony projecting out across its entire width on the first floor. The gable end faces the street. The plinth is made of fine ashlar masonry while the superstructure is a combination of wooden frame and brick load bearing walls. Floors are made of timber beams and joists while the roof has timber purlins and rafters. Currently, the roof is a sheet roof but the balcony has a separate mangalore tile roof suggesting that the main roof too might have had tiles at some point in time. The wood work of the building is noteworthy. On the facade, the long decorative brackets supporting the balcony above form the main element. Also noteworthy are the double columns of the balcony and the wooden infill between them. There is a restrained ornament in the plaster work too. The ground floor windows have arched openings accentuated by stucco work while small floral motifs in stucco adorn the facade at specific points. Overall, it is a well made building.
2.09	Townscape Significance	The building is situated in vicinity of the Ganpati mandir, Ziral Ali .Along with its neighbours, it contributes to the street facade and by virtue of its architectural detail, mass, volume and profile, to the overall townscape. The current street character though is marred by new inserts of multistoried RCC buildings which is rather incongruous to the context.
2.10	Other Significance	None
2.11	Value Classification	A(arc),A(cul)
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	Approx 28 feet		
3.02	No. of Floors	Ground + 1 Upper + Attic		
		Description	Problem/Threat	Condition
3.03	Structural System	Composite: timber frame with brick load bearing walls and timber roof	Timber has aged though apparently no signs of fatigue	Good
3.04	Plinth	Ashlar basalt masonry	Nil	Good
3.05	Walls	Plastered brick with timber frame	Chipping of plaster at a few places	Good
3.06	Floors	Timber beams and joists and Shahabad stone floor above	No major problem except the cantilever balcony which shows some distress due to weathering and dampness.	Good
3.07	Stairs	Timber	Nil	Good
3.08	Openings	Timber panel shutters with vertical iron grill bars	Nil. The iron grills need maintenance.	Good
3.09	Roof	Mangalore tiles on timber truss (currently sheet roof seen)	Timber needs to be closely inspected though apparently there is no distress. Tiles need replacement or repair	Good
3.10	Articulation	Arched windows on ground floor, restrained stucco work, long curvilinear wooden brackets supporting the balcony, double columns with infill on first floor, balcony grills	No major issue	Good
3.11	Finishes	Plaster to brickwork, Painted timber work, Stone tile floors	Plaster chipping at some places, paint worn off at a few places	Good
3.12	Furniture	Not surveyed	NA	-
3.13	Compound/Fence/Gate	Non descript	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Front yard with a small flowering shrub. Narrow side margins.	NA	Good
3.15	Lighting	Natural through openings + Artificial	Adequate	Good
3.16	Ventilation	Natural through openings + Artificial	Adequate	Good

3.17	Electricity	Introduced later	Old surface wiring	Minor Repair
3.18	Water Supply	Exposed surface mounted pipes. Municipal supply.	Although old, does not show signs of distress	Good
3.19	Plumbing & Drainage	Yes	Ok- though timely maintenance required	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	No provision	NA	-
3.21	Incongruent Transformation	Part enclosing of balcony, GI sheet partitions on the ground floor. Painted timberwork.		
3.22	Overall Maintenance Status	Good		
3.23	Overall Condition	Good		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential, The street abuts the Ahilya Mandal premises on the West
4.02	Overall Problems & Threats	Overall the building is in a good condition although the interior space modifications could be done in a better way. Maintenance of timber needs to be undertaken, especially of the front balcony as also the repairs and renovations to the electricity, water and drainage provisions.
4.03	Additional Notes	It was originally a house then converted into hospital, health centre, and a girls' hostel. Services within the building need to be carefully installed compatible to the heritage character. The building approach is from a narrow street which now has developed problems due to increased motorised traffic that needs to be arrested at appropriate nodes without widening the streets.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images



Image Title: Ahilya Mandal
Image Type: Front-View
Reference: Detail of a window on the front facade.



Image Title: Location map
Image Type: Topographic-Map
Reference: Location map



Image Title: Ahilya Mandal
Image Type: Top-View
Reference: A Floor beam showing damage due to dampness

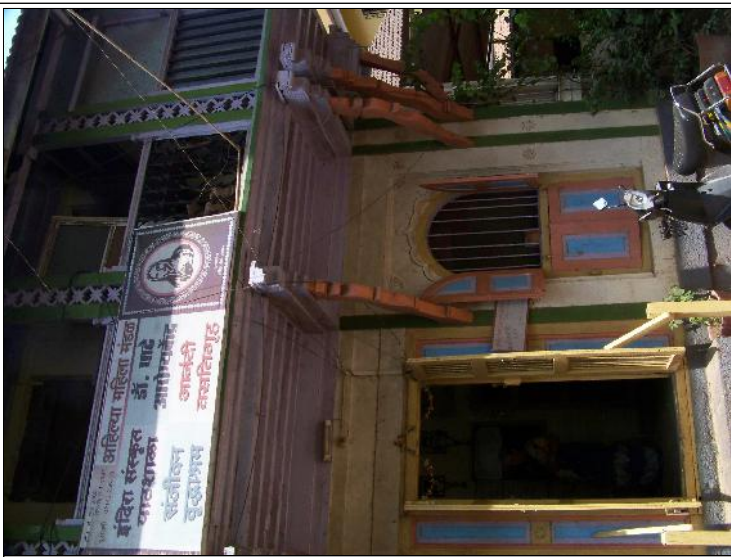


Image Title: Ahilya Mandal
Image Type: Front-View
Reference: Part view of the front facade



Image Title: Ahilya Mandal
Image Type: Side-View1
Reference: Detail of wooden bracket on the front facade of the building.



Image Title: Ahilya Mandal
Image Type: Front-View
Reference: Building seen from far end of the street



Image Title: Ahilya Mandal
Image Type: Front-View
Reference: Part view of the front facade



Image Title: Ahilya Mandal
Image Type: Top-View
Reference: Detail of end of the bracket on the front facade of the building.



Image Title: Ahilya Mandal

Image Type: Front-View

Reference: Street view of the building

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Ambika Mandir

BASIC DETAIL

1.1	Premise Name	Ambika Mandir
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Ambika Mandir
1.03	Internal Reference Number	
1.04	CS No	726
1.05	Street Name 1	Shivaji Path
1.06	Street Name 2	T junction of Shivaji Path and Prabhu Aali.
1.07	Area / Locality	Pen
1.08	Nearby landmark if any	Near Kolhatkar Wada
1.09	Pin Code	402107
1.10	Current Owner	Mr Babulal Jain and others
1.11	Type of Owner	Private
1.12	Type of Occupancy	Mandir
1.13	Current Use	Religious
1.14	Type of Use	Religious
1.15	Age	Original Mandir more than 100 Years
1.16	Plot Area (sq.mt)	495 Sq. m
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	III
1.20	Brief Detail	The original building is not visible since a lot of modifications to original structure including the shikhara and sabhamandap have taken place. Marble cladding obscures the original form of the Mandir, but the original plinth and plan profile reveal themselves at certain places. The campus displays a variety of hoardings in various colours, matter and sizes.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	Original Mandir built before 20th century
2.02	Extensions/ Modifications in	Post 1984
2.03	Extensions/ Modifications Details	The entire old Mandir is clad in marble and extended. A GI sheet roof also has been added to the extended area.
2.04	Earlier Name(s)	Ambika Mandir

2.05	Earlier Use(s)	Religious: Worship
2.06	Historical Significance	The original Mandir seems to be more than 100 years old.
2.07	Cultural Significance	Continuance of religious use from one community to another. Mandir now belongs to the Jain community and is in active use.
2.08	Architectural Significance	The Mandir is listed as heritage for its original fabric. The original Mandir is now completely clad in marble, yet there are traces suggesting the old structure within. The old structure may have been a modestly sized Mandir with a basalt stone sanctum sanctorum. The original architectural character has been totally transformed to suit the demands of the new patron community.
2.09	Townscape Significance	An important landmark in Pen though not in its original condition. Has a sizable open space for community activities.
2.10	Other Significance	Nil
2.11	Value Classification	A(arc),A(his),A(cul)
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@ 27 feet		
3.02	No. of Floors	Ground		
		Description	Problem/Threat	Condition
3.03	Structural System	Load bearing stone masonry	New cladding does not provide any clue about the state of the older structure	Good
3.04	Plinth	Basalt Stone masonry	New marble cladding	Good
3.05	Walls	Basalt Stone masonry	New marble cladding	Good
3.06	Floors	Basalt Stone masonry	New marble flooring	Good
3.07	Stairs	New MS ladder installed along the spire to its pinnacle terminating in balcony	Fair	Good
3.08	Openings	Collapsable door at Garbhagriha entry, Silver plated timber door frame	Fair	Good
3.09	Roof	Painted brick and cement plaster Shikhara	Shikhara is rebuilt- no trace of the older one.	Good
3.10	Articulation	New marble Columns, door frame, Shikhara	Articulation is adhoc	Good
3.11	Finishes	The entire structure is clad in white Marble with accents in yellow Jaiselmer stone. Shikhara is painted	Adhoc	Good
3.12	Furniture	nil	nil	-
3.13	Compound/Fence/Gate	New compound wall with an incongruous arched entry with MS gate	Adhoc	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	Open court at the entrance now paved with Kota stone with marble inserts, Trust Office	Hoardings, notice boards, and random elements like sheds	Minor Repair
3.15	Lighting	Natural through openings and artificial at night with decorative lighting wrapped around columns	Incongruent fittings	Good
3.16	Ventilation	Natural and ceiling fans in mamdap	Incongruent fittings	Good
3.17	Electricity	Installed.	Very randomly done cabling and electrification	Minor Repair
3.18	Water Supply	Not inside the structure. Connection in the campus	NA	Good
3.19	Plumbing & Drainage	Not inside the structure	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	nil	nil	-

3.21	Incongruent Transformation	The entire original basalt structure of the Mandir is clad in white marble. The Shikhara is entirely new. Temporary structure with GI sheet roofing added around Mandir. The new finishes are not complementary to the original character of the old Mandir. The campus is full of colourful hoardings and notice boards in different sizes which particularly damage the religious and spiritual atmosphere of the place as well as the character of its architecture.
3.22	Overall Maintenance Status	The premises and the building are clean and well kept.
3.23	Overall Condition	Good

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential, The Village street abuts the Ambika Mandir premises on, the North and East.
4.02	Overall Problems & Threats	The state of the original Mandir cannot be assessed as it is completely buried inside the marble cladding.
4.03	Additional Notes	Though renovation or "jeernoddhar" is a cultural practice it is questionable in such cases as the original structure is completely obscured. The new work has no stylistic affiliations and consistency nor the integrity of the original building. Appendices like hoardings further mar the atmosphere of the place. Conservation action would be to restore the architectural integrity of the Mandir with the help of a qualified conservation professional.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	None
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images



Image Title: Ambika Mandir

Image Type: Top-View

Reference: Garbhagriha of the temple from the sabhamandap



Image Title: Ambika Mandir

Image Type: Front-View

Reference: General view of the temple with the finished mandap.



Image Title: Ambika Mandir
Image Type: Front-View
Reference: General view of the temple from the entry



Image Title: Location Map
Image Type: Top-View
Reference: Location Map



Image Title: Location Map
Image Type: Top-View
Reference: Location Map



Image Title: Ambika Mandir
Image Type: Front-View
Reference: The cluster and incongruency of a variety of materials of elements that obscure the original temple

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Asha Niwas

BASIC DETAIL

1.1	Premise Name	Asha Niwas
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Asha Niwas
1.03	Internal Reference Number	
1.04	CS No	179 - 181
1.05	Street Name 1	Mahavir Marg
1.06	Street Name 2	
1.07	Area / Locality	Pen
1.08	Nearby landmark if any	Near Hanuman & Goteswar Mandir
1.09	Pin Code	402107
1.10	Current Owner	Mr Jhijhe, Mr Shah and others
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Mixed use with First Floor Residential and Ground Floor commercial
1.14	Type of Use	Mixed
1.15	Age	approx 90 years
1.16	Plot Area (sq.mt)	177.3 Sq. m.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	III
1.20	Brief Detail	The building is a G + 2 building of timber columns and brick plastered walls with a double lean-to timber roof The building is a good representative of the typology of mixed use buildings- particularly shop and residence found in town areas of this region. The woodwork of this building is also noteworthy, including the higher level timber louvered screens of the first floor verandah.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	Not available
2.03	Extensions/ Modifications Details	No major modifications from the outside except for a wide rain water gutter added rather abruptly on the facade.

2.04	Earlier Name(s)	Asha Niwas
2.05	Earlier Use(s)	Residential and commercial
2.06	Historical Significance	The building is an example of the colonial typology of a mixed use building mostly found on commercial streets in old towns.
2.07	Cultural Significance	Mixed use typology
2.08	Architectural Significance	Turn of the century building showing a variation on traditional residential architecture with the addition of a shop on the ground floor. The style is a hybrid of the local vernacular and colonial architectural elements. Articulate wooden elements like round timber columns in stone bases and wooden capitals, brackets, screens adorn the building.
2.09	Townscape Significance	Typical building on a market street. Important part of the traditional street elevation of the commercial area of a town. Though it is a mixed use building, the scale and architectural disposition remains similar to the residential buildings in other parts of the town thereby maintaining the town's overall profile and scale.
2.10	Other Significance	nil
2.11	Value Classification	A(arc),B(des),E
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@ 27 feet		
3.02	No. of Floors	Ground + 1 Upper + 1/2 attic		
		Description	Problem/Threat	Condition
3.03	Structural System	Composite with timber frame and load bearing walls	Ageing and distress in timber at certain places	Minor Repair
3.04	Plinth	Ashlar stone plinth	nil	Good
3.05	Walls	Brick plastered walls with timber columns	Plaster flaked at places, timber is rotting and not maintained	Minor Repair
3.06	Floors	Timber beams and joists, mud filling and Shahabad stone flooring	Timber has deteriorated, edges of the balcony are exposed.	Minor Repair
3.07	Stairs	Timber stairs	Needs repairs	Minor Repair
3.08	Openings	Timber paneled doors and windows with glazed top light above shutters. Folding timber doors to shops.	Ok	Good
3.09	Roof	Mangalore tiles on timber rafters	Deteriorated edges, eave boards and tiles. Needs maintenance cracks in timber members.	Major Repair
3.10	Articulation	Circular wooden columns on stone bases and simplified capitals receiving the beams of the first floor verandah, Facing boards of the balcony floor, beam ends, brackets, pendants, higher level louvered panels of the first floor verandah, cast iron grills of the verandah, window treatment on the gable end, eaves board of the roof.	Rusting of MS members, rotting of timber eaves and brackets, discoloration	Major Repair
3.11	Finishes	Oil based paint over timber members, plastered painted wall, Shahabad floors	Weathered and discolored	Minor Repair
3.12	Furniture	Not surveyed	Not surveyed	-
3.13	Compound/Fence/Gate	None	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	None	NA	-
3.15	Lighting	Natural through openings / Artificial for night time. Shading provided by louvered panels on the balcony front. Top light to first floor windows.	OK	Good

3.16	Ventilation	Natural- through openings and fans	Ok	Good
3.17	Electricity	Introduced later	Needs repair. Random wiring on the facade.	Minor Repair
3.18	Water Supply	Yes	Needs repair	Minor Repair
3.19	Plumbing & Drainage	Yes	Needs maintenance	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	not provided	NA	-
3.21	Incongruent Transformation	No major transformation seen except for the metal sheet awing to the shops but the building is deteriorating due to lack of maintenance and needs immediate attention and repair.		
3.22	Overall Maintenance Status	Not maintained		
3.23	Overall Condition	Major Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential, The street abuts the Asha Niwas premises on the North.
4.02	Overall Problems & Threats	Lack of maintenance has resulted into deterioration of the building and its significant parts. The road widening of the street is also a looming threat.
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images



Image Title: Location Plan
Image Type: Top-View
Reference: Location map



Image Title: Asha Niwas
Image Type: Front-View
Reference: Wooden louvered panels of the first floor balcony form a prominent character giving feature of the building. These how are not in a good shape and require urgent repairs



Image Title: Asha Niwas
Image Type: Front-View
Reference: A Deterioration of wooden elements of the building



Image Title: Asha Niwas
Image Type: Front-View
Reference: Damaged wooden elements of the front facade of the building



Image Title: Asha Niwas
Image Type: Front-View
Reference: Detail of the balcony edge showing intricate woodwork how obscured by insensitive additions



Image Title: Asha Niwas
Image Type: Side-View1
Reference: Detail of the gable wall with prominent cornice bands



Image Title: Asha Niwas
Image Type: Front-View
Reference: One of the columns that are seen on the ground floor front facade



Image Title: Asha Niwas
Image Type: Front-View
Reference: Intricate woodwork on the front facade of the building



Image Title: Asha Niwas
Image Type: Front-View
Reference: Detail of the column base on the front facade of the building



Image Title: Asha Niwas
Image Type: Front-View
Reference: A street view of the building



Image Title: Asha Niwas
Image Type: Front-View
Reference: Detail of the column capital now obscured by the awning

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Beth Haelohim Synagogue

BASIC DETAIL

1.1	Premise Name	Beth Haelohim Synagogue
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Beth Haelohim Synagogue
1.03	Internal Reference Number	
1.04	CS No	245
1.05	Street Name 1	Market Street
1.06	Street Name 2	Shastri Marg
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Yashwant Ganpat Temghare
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Synagogue
1.14	Type of Use	Religious
1.15	Age	170 Years
1.16	Plot Area (sq.mt)	50.2 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	I
1.20	Brief Detail	Rarity of building type, Plurality of society, Adaptation of European style to local context
1.21	Date of Recording	2010-04-26

HISTORICAL DETAIL

2.01	Built in	1863 CE (Site survey) / 1844 CE (Pen Shaharacha Itihas)
2.02	Extensions/ Modifications in	09/03/1893
2.03	Extensions/ Modifications Details	The Synagogue was dedicated to the service of God on 1st of Elul 5623 (1863). it was rebuilt by people themselves and rededicated to the service of God on 09/03/1893.
2.04	Earlier Name(s)	Beth Haelohim Synagogue
2.05	Earlier Use(s)	Worship

2.06	Historical Significance	A Jew Synagogue constructed by Jew population who migrated to India, It shows confluence of two Architectural styles with western ornamentation. The synagogue was built with the support of Mr. Haskelshet, Mr. Babushet, Mr. Abrahamshet Solomon Penkar.
2.07	Cultural Significance	A cultural symbol for a dwindling Jewish population. Simchat Torah, a Jewish festival is celebrated in this Synagogue. The presence of the building in the midst of the town indicates the tolerance and plurality of the society in this town. The community is locally known as 'Shanivar Teli' as they were primarily engaged in the occupation of oil production. Janjira Principality was supposed to have a Jewish population of 590 when the settlement originally occurred.
2.08	Architectural Significance	Its a rectangular shrine with sloping roof a balcony over the entrance overlooks the large hall. The facade is very characteristically Jewish. The ground floor facade is composed of three rusticated arches and quoins on the edges. The first floor is treated with fluted pilaster columns in pairs. It is adorned with Hebrew calligraphy over the windows and the star of David over the main door. All the windows are in wood with double shutters with glass panels outside and louvred shutters inside. The gable wall has a curvilinear profile. The floors are demarcated with deep cornices on the external Facade. It is a rare building type in this region given that the community is nearly non existant today in the area.
2.09	Townscape Significance	Important landmark
2.10	Other Significance	NA
2.11	Value Classification	A(arc), A(his), A(cul), Town
2.12	Recommended Grade	I

PHYSICAL CHARACTERISTICS

3.01	Height	Approx 28 Feet		
3.02	No. of Floors	Ground + part mezzanine		
		Description	Problem/Threat	Condition
3.03	Structural System	Loadbearing Brick walls	No apparent distress	Good
3.04	Plinth	Basalt fine dressed masonry	Slight uneven settlement seen	Good
3.05	Walls	Brick plastered walls. Gable wall terminated in a curvilinear manner.	Signs of leakages	Minor Repair
3.06	Floors	Cement IPS floor	Floor damaged at certain points	Minor Repair
3.07	Stairs	Timber stairs	Fair	Good
3.08	Openings	Double shuttered timber frame windows with timber louvers inside and glass shutters outside. Clearstorey windows seen.	Louvres need repairs.	Minor Repair
3.09	Roof	Mangalore tile roofing over timber, rafters, wooden boarding with golden decorative border used as suspended ceiling internally.	Needs repairs	Minor Repair
3.10	Articulation	The front facade is articulated with arches at ground level, quoins, cornice at first floor level and fluted round pilaster columns in pairs on the first floor facade. The internal walls have deep cornice under the ceiling.	Shows weathering and staining around all ledges and mouldings	Minor Repair
3.11	Finishes	Facade presently painted in pink.	Needs repainting	Minor Repair
3.12	Furniture	Arched niche for Torah, painted blue. Wooden Benches and Bimah/Tebah. All other ritualistic appurtenances of a Jewish Synagogue are observed.	well maintained	Good
3.13	Compound/Fence/Gate	Stone compound wall with timber door	Fair	Good

3.14	Curtilage / unbuilt / space /out buildings / landscape	Front yard.	Fair	Good
3.15	Lighting	Natural through windows and clere storey openings	Needs repairs	Minor Repair
3.16	Ventilation	Natural through openings. Electric fans suspended with long stems	Fair	Good
3.17	Electricity	Added later	Casing and capping for wiring	Good
3.18	Water Supply	NA	NA	-
3.19	Plumbing & Drainage	NA	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	None	NA	-
3.21	Incongruent Transformation	NA		
3.22	Overall Maintenance Status	Average. Needs maintenance.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential.
4.02	Overall Problems & Threats	Dwindling community which has resulted in limited usage and low day to day maintenance of the premises.
4.03	Additional Notes	Mr. Sion Samsun Penkar acts as Caretaker / Priest of the synagogue. The CS number obtained from Pen Nagarparishad is 245-1. The records of this number are not available on the government website (http://raigad.nic.in/pcsql/pcshow.asp)
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	NA

Images



Image Title: Beth Haelohim Synagogue
Image Type: Front-View
Reference: The niche for the Torah



Image Title: Beth Haelohim Synagogue
Image Type: Front-View
Reference: Part of the front facade showing Hebrew calligraphy over window of the star of David.



Image Title: Beth Haelohim Synagogue
Image Type: Front-View
Reference: Street view of the Synagogue



Image Title: Beth Haelohim Synagogue
Image Type: Front-View
Reference: Deterioration of the store on the exterior of the building



Image Title: Beth Haelohim Synagogue
Image Type: Front-View
Reference: Detail of louvred shutter with a tall tower Bolt

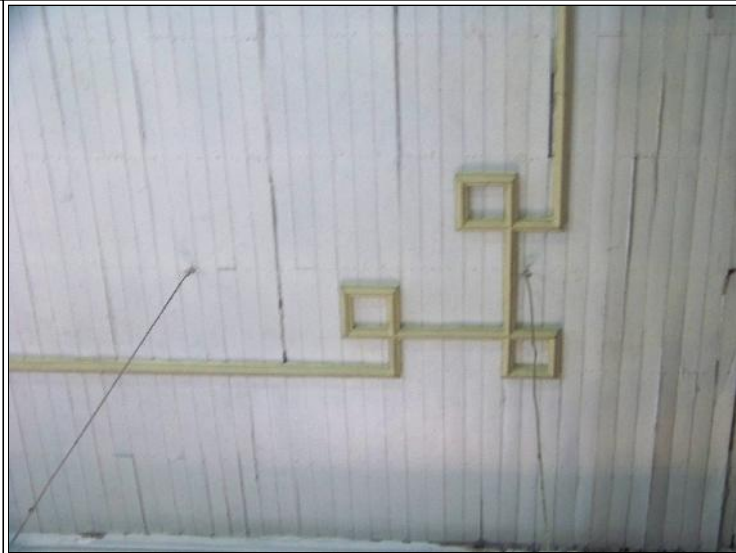


Image Title: Beth Haelohim Synagogue
Image Type: Top-View
Reference: Ceiling of the Synagogue



Image Title: Location Plan
Image Type: Top-View
Reference: Location Map



Image Title: Beth Haelohim Synagogue
Image Type: Top-View
Reference: General view of the interiors showing ritualistic appurtenances of a Synagogue



Image Title: Beth Haelohim Synagogue
Image Type: Top-View
Reference: Balcony on the interior overlooking the main hall



Image Title: Beth Haelohim Synagogue
Image Type: Top-View
Reference: Damaged Stucco work

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Bhagwat Wada

BASIC DETAIL

1.1	Premise Name	Bhagwat Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	06
	Village	Pen
	Identification	Bhagwat Wada
1.03	Internal Reference Number	
1.04	CS No	77
1.05	Street Name 1	Dev Aali
1.06	Street Name 2	Gopalkrishna Hall
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Keshav Vinayak Patankar
1.11	Type of Owner	Private
1.12	Type of Occupancy	Partly Leased / Rented
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	155 years
1.16	Plot Area (sq.mt)	331.1 Sq.Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	III
1.20	Brief Detail	A turn of the century residence representative of a type seen in Pen. The Bhagwats were originally Damle of Diveagar. They used to read the Bhagwat puran and gradually came to be known as Bhagwat. Lakshman Bhagwat built the Bhagwat wada. The wada was visited by several eminent personalities in the field of arts.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	1855
2.02	Extensions/ Modifications in	partly demolished recently. Date unavailable
2.03	Extensions/ Modifications Details	Partly demolished
2.04	Earlier Name(s)	Bhagwat Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	House belonging to a prominent family of Pen. The Bhagwats were originally Damle of Diveagar. They used to read the Bhagwat Puran and gradually came to be known as Bhagwat. Lakshman Bhagwat built the Bhagwat wada. The wada was visited by several eminent personalities in the field of arts.
2.07	Cultural Significance	Association with a family supposed to be reading the Bhagwat Puran lent the family its name. It is rather curious that such a religious family house should carry so many prominently colonial features. It may indicate the understanding and attitude of the local people towards the meanings in architecture.
2.08	Architectural Significance	A mixture of Colonial and local vernacular architecture seen in this structure. The colonial features are more prominent and varied than other buildings. Also, this building stands at a point where the street turns and hence has a peculiarly adapted shape.
2.09	Townscape Significance	Articulation of a street corner.
2.10	Other Significance	NA
2.11	Value Classification	A(Arc), A(his)
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper+ 1/2		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with loadbearing brick walls	Part of the structure is demolished thereby causing damage to the portion that is standing. But otherwise there is no sign of structural distress in the old structure.	Major Repair
3.04	Plinth	Dressed basalt stone	Nil	Good
3.05	Walls	Brick with lime plaster and paint	Chipping of plaster, discolouration, moss and fungal growth on surface due to moisture and seepage in places.	Minor Repair
3.06	Floors	Timber joists and beams support timber floor on first and attic floor.	Moisture seepage seen on ceiling of ground floor. No other major structural problem visible except for the flaking of paint of the ceiling.	Minor Repair
3.07	Stairs	Timber	Some balusters are missing. post is damaged	Minor Repair
3.08	Openings	Panel doors and windows. Doors with fan lights on the first floor. Two galleries on the first floor of which one is enclosed later with iron grills and aluminum windows.	Aluminum windows are a incongruent addition. Shutters need minor repairs. Balcony railings are damaged. One window on ground floor facing street is partly built up and shut.	Minor Repair
3.09	Roof	Mangalore tiles on timber purlins and rafters	Roof near portion that is demolished is badly damaged.	Major Repair
3.10	Articulation	Ornamented cornice, timber brackets, timber trellis work for balconies, iron railings to balconies, Corinthian looking pilasters on ground floor street side.	Pilasters half destroyed from base up. Balcony railing missing at places, trellis work needs repair. Discolouration and weathering of all elements.	Minor Repair
3.11	Finishes	Lime plaster with paint, Painted and oiled woodwork, painted iron work, Shahabad stone flooring.	discolouration of all parts, moss and fungal growth on walls due to moisture and seepage	Minor Repair
3.12	Furniture	Not noteworthy	NA	-
3.13	Compound/Fence/Gate	nil	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Natural through openings & artificial	NA	Good
3.15	Lighting	Natural through openings. Fan light for first floor windows. Now tubelights and bulbs	Electrification needs systematic and sensitive relaying	Minor Repair
3.16	Ventilation	Windows, doors with fanlights, attic has small window on streetside. Now electric fans used	nil	Good

3.17	Electricity	Introduced later	Electrification needs systematic and sensitive relaying	Minor Repair
3.18	Water Supply	Tap water introduced later	NA	Good
3.19	Plumbing & Drainage	Toilets connected to septic tank, cast iron rainwater down take pipes prominently on street facade along with new PVC pipe	Maintenance needed,down take PVC pipe insensitively added. Cast iron pipe needs repair and maintenance	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Additions of Aluminium Windows, Toilet Block, PVC downtake pipe, Neighbouring new construction may not be very sensitive to the original building.		
3.22	Overall Maintenance Status	Good, except the urgent need to repair the part damaged due to part demolition.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Bhagwat Wada premises on the East.
4.02	Overall Problems & Threats	Construction activity that will be undertaken in place of the demolished part and the threat of the existing part of the building being demolished.
4.03	Additional Notes	A part of house is demolished and is under reconstruction. The remaining part is also in danger of demolition.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Detail of the base of the column



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Side View of the wada



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Close up of window with flanking columns in lime stucco



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Detail of the stucco work around the opening on the facade. The balcony on the first floor that is enclosed later is also seen.



Image Title: Bhagwat Wada
Image Type: Side-View1
Reference: First floor of the wada



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Detail of the timber stairs



Image Title: Bhagawat Wada
Image Type: Front-View
Reference: Detail near the corner where the building turns to face two streets

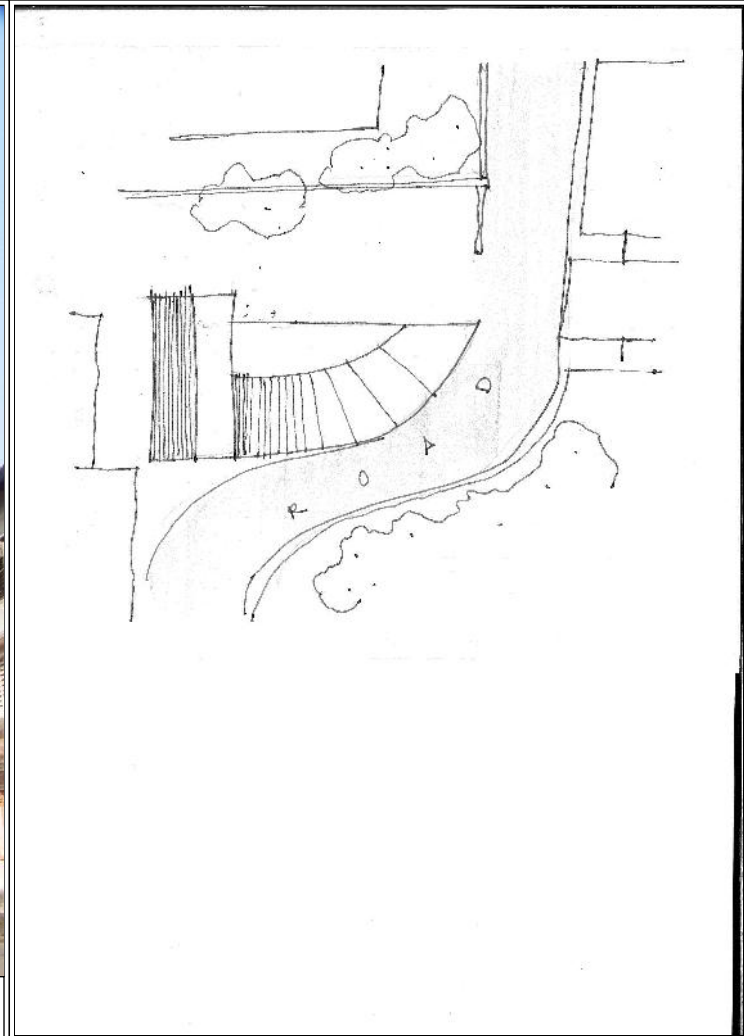


Image Title: Bhagwat Wada
Image Type: Top-View
Reference:



Image Title: Bhagwat Wada
Image Type: Top-View
Reference: First floor covered terrace



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: General view from the street



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Side View of the wada



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: One end of the house in a badly damaged condition



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Cast iron baluster and the window behind added later.



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Bhagwat wada at the junction of 2 streets



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Badly damaged corner of the house



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Deterioration of wood work



Image Title: Bhagwat Wada
Image Type: Top-View
Reference: Ceiling of the gallery

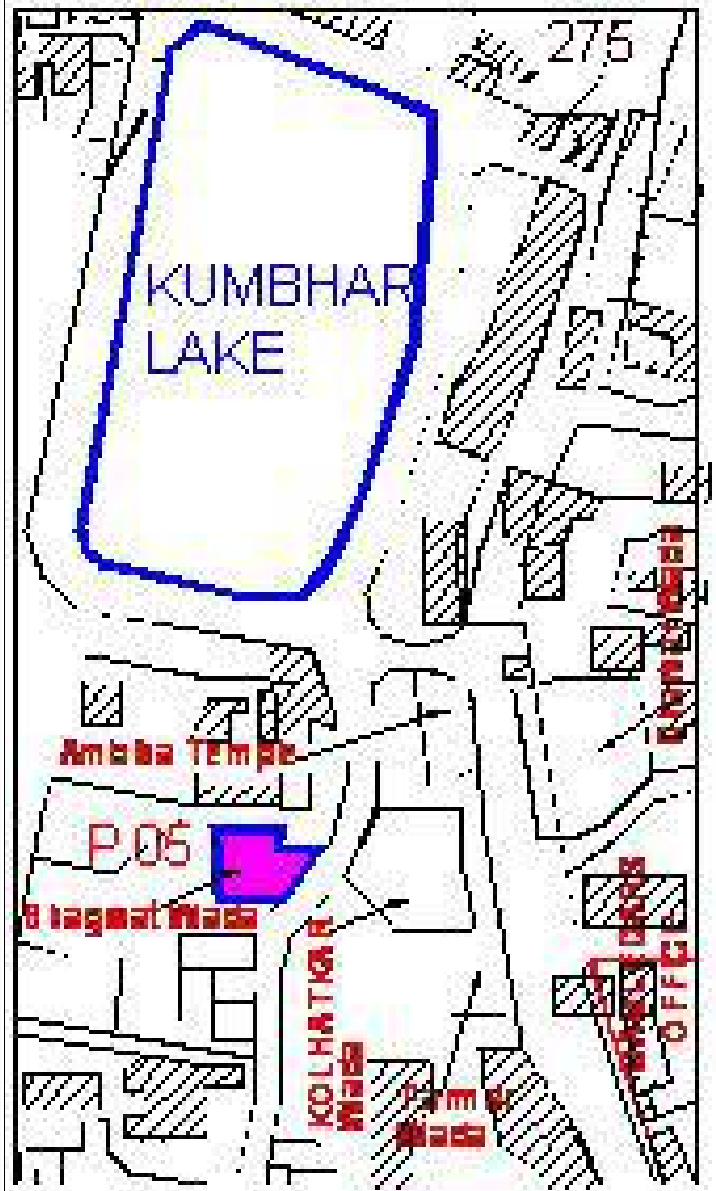


Image Title: Location Plan
Image Type: Top-View
Reference: Location map



Image Title: Bhagawat Wada
Image Type: Front-View
Reference: Side View of the wada



Image Title: Bhagwat Wada
Image Type: Front-View
Reference: Timber stairs of Bhagwat Wada



Image Title: Bhagwat Wada
 Image Type: Front-View
 Reference: Deteriorating woodwork missing balusters of the stairs



Image Title: Bhagwat Wada
 Image Type: Front-View
 Reference: Detail of the wooden medallions on the facade and the adhoc protection measures

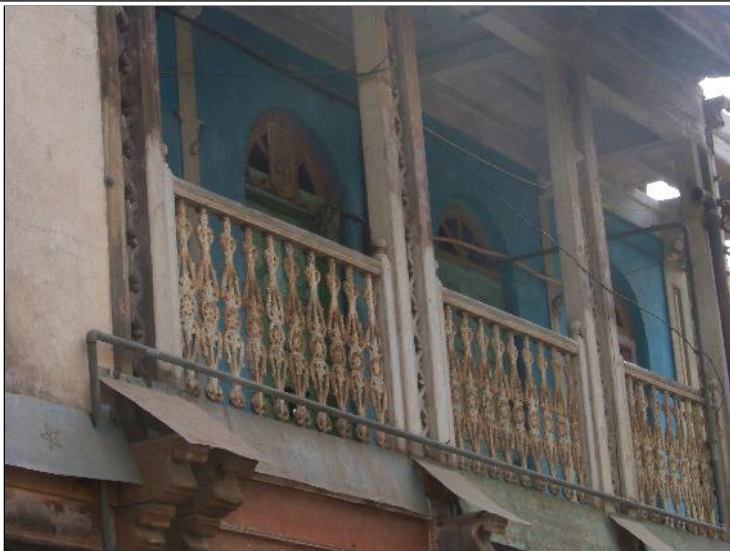


Image Title: Bhagwat Wada
 Image Type: Top-View
 Reference: Wood and cast iron railing from the 19th century on the first floor of the building



Image Title: Bhagwat Wada
 Image Type: Front-View
 Reference: General view from the street

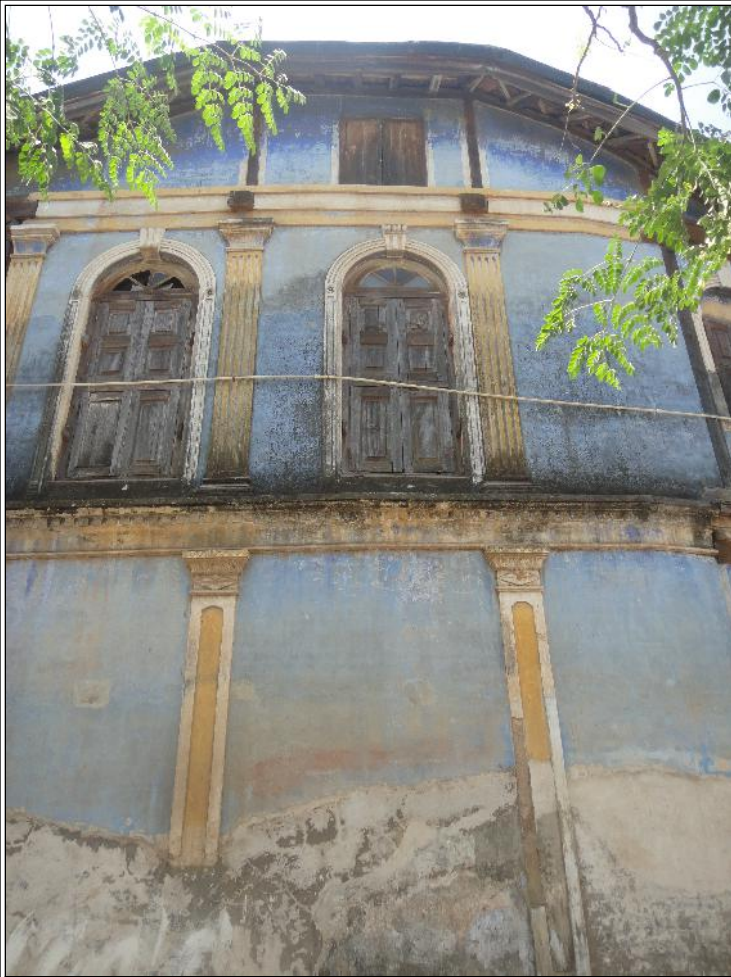


Image Title: Bhagwat Wada

Image Type: Front-View

Reference: Gable end with lime and stucco work

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Bridge on River Bhogwati

BASIC DETAIL

1.1	Premise Name	Bridge on River Bhogwati
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	01
	Village	Pen
	Identification	Bhunda Pool
1.03	Internal Reference Number	
1.04	CS No	NA
1.05	Street Name 1	
1.06	Street Name 2	Old Goa Highway
1.07	Area / Locality	Pen
1.08	Nearby landmark if any	Near Old Goa Highway
1.09	Pin Code	402107
1.10	Current Owner	Local Government
1.11	Type of Owner	Local Govt.
1.12	Type of Occupancy	Bridge
1.13	Current Use	Utility
1.14	Type of Use	Utility
1.15	Age	About 100 years
1.16	Plot Area (sq.mt)	NA
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	III
1.20	Brief Detail	An engineering structure of importance as indicating the technology of the time
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	1980's
2.03	Extensions/ Modifications Details	Bridge widened by constructing supports and casting a slab
2.04	Earlier Name(s)	Bridge
2.05	Earlier Use(s)	In use for pedestrian and vehicular traffic.

2.06	Historical Significance	Evidence of technology available at the time
2.07	Cultural Significance	As the first means of achieving a vehicular connection across the river. The widening of the original bridge in stone has been done by ignoring the original construction style and material.
2.08	Architectural Significance	A bridge of construction with stone masonry arches and stone piers for stiffening. An example of contemporary engineering skill that has survived for more than 100 years. Use of local material and arcuate construction aiding in ensuring long life for the construction.
2.09	Townscape Significance	Provide the visual reference for further strategies of planning the river fronts.
2.10	Other Significance	NA
2.11	Value Classification	A(his), A(arc)
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	Around 5.0 m.		
3.02	No. of Floors	NA		
		Description	Problem/Threat	Condition
3.03	Structural System	Arcuate	NA	Good
3.04	Plinth	NA	NA	-
3.05	Walls	Stone	NA	Good
3.06	Floors	Stone covered now by RCC Slab	NA	Good
3.07	Stairs	NA	NA	-
3.08	Openings	Arches spanning the supports	NA	-
3.09	Roof	NA	NA	-
3.10	Articulation	NA	NA	-
3.11	Finishes	Exposed Stone Masonry	NA	Good
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	NA	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	NA	NA	-
3.15	Lighting	Artificial lighting is non existent in future needs to be provided responding to the character and usage.	NA	-
3.16	Ventilation	NA	NA	-
3.17	Electricity	Any services to be planned in future connecting the two banks need to account for the heritage character.	NA	-
3.18	Water Supply	Any services to be planned in future connecting the two banks need to account for the heritage character.	NA	-
3.19	Plumbing & Drainage	Any services to be planned in future connecting the two banks need to account for the heritage character.	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	Original bridge widened and covered with RCC resulting in loss of aesthetic and structural integrity		
3.22	Overall Maintenance Status	As who is responsible for maintenance, who maintains, how often, how is the quality of maintenance		
3.23	Overall Condition	Major Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Waterbody
4.02	Overall Problems & Threats	A sense of pride for the structure needs to be developed among the citizens and the city administrators
4.03	Additional Notes	NA
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images

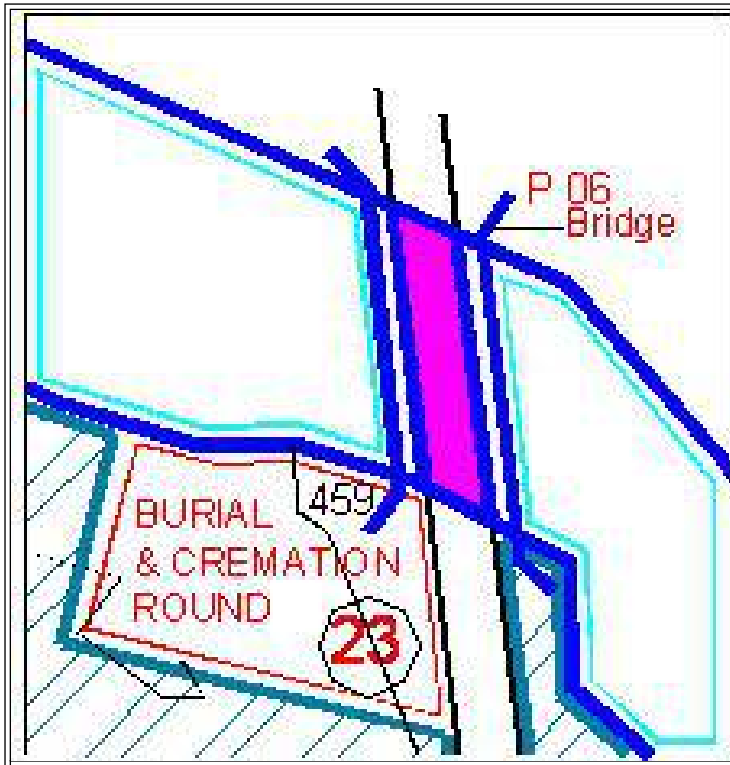


Image Title: Bridge
Image Type: Side-View2
Reference: The new construction nereby covers the old bridge from any view

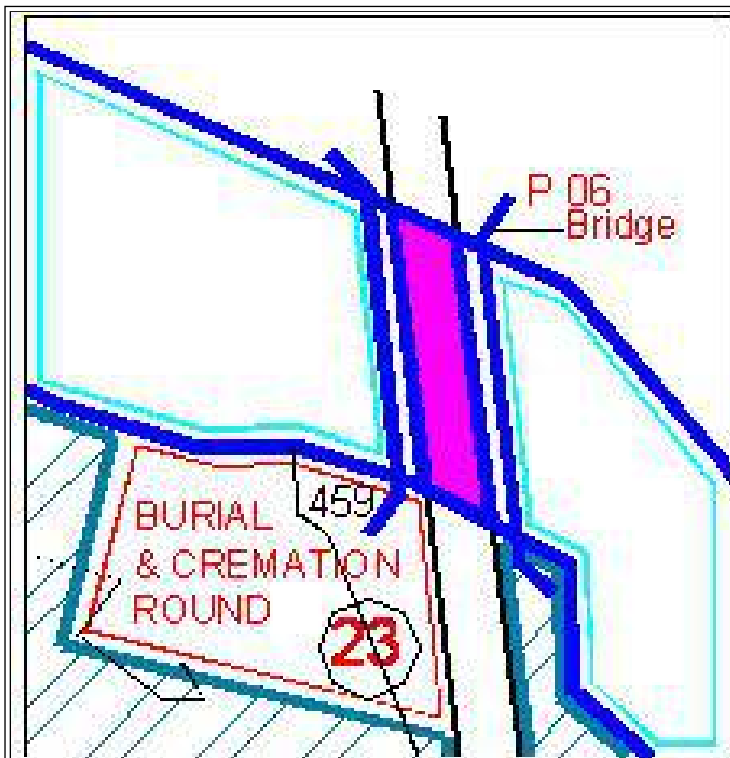


Image Title: Bridge
Image Type: Side-View2
Reference: The new construction nereby covers the old bridge from any view

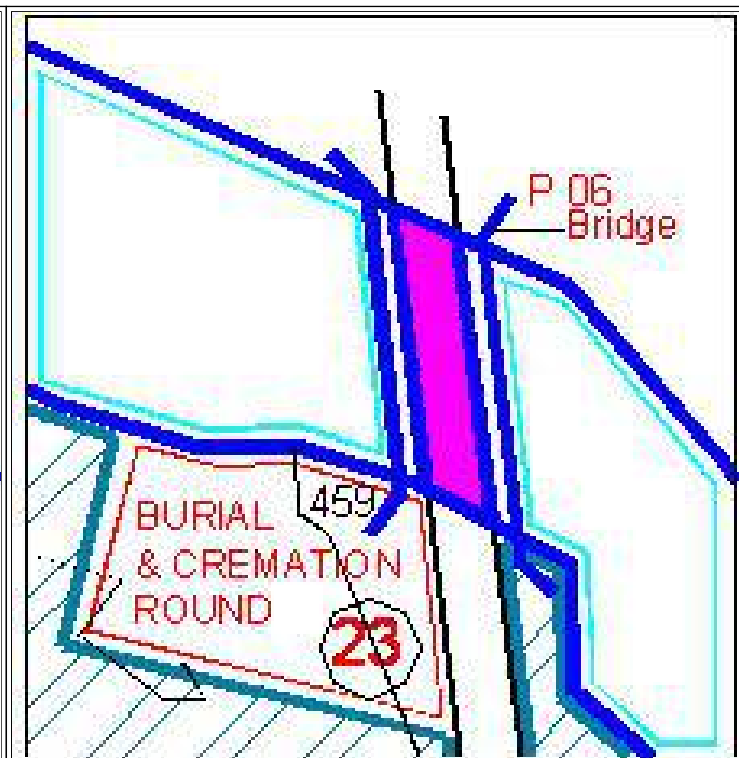


Image Title: location plan
Image Type: Top-View
Reference: location map



Image Title: Bridge
Image Type: Front-View
Reference: The masonry arches of the old bridge is seen behind the new RCC piers



Image Title: Bridge
Image Type: Side-View1
Reference: Masonary Piers on one side of the bridges. Arches are not seen from this side either

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Datar Ganpati Mandir

BASIC DETAIL

1.1	Premise Name	Datar Ganpati Mandir
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Datar Ganpati Mandir
1.03	Internal Reference Number	
1.04	CS No	2078
1.05	Street Name 1	Datar Aali
1.06	Street Name 2	Datar Wada
1.07	Area / Locality	Datar Aali
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Datar family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Religious
1.13	Current Use	Religious
1.14	Type of Use	Religious
1.15	Age	Rebuilt
1.16	Plot Area (sq.mt)	162.2 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	-
1.19	Grade	Deleted
1.20	Brief Detail	Old Ganesh Mandir, associated with Datar Wada. An important religious site in Pen. As per site visit on 05.05.2013. The Site has been Demolished and Renovated.
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	1725 (original structure)
2.02	Extensions/ Modifications in	not available
2.03	Extensions/ Modifications Details	Recent modifications include fitting of MS security grills and MS gutters. The building from 1725 is hardly intact. The structure present today is a result of many modifications over the past. the deity seems to be original from the 18th century.
2.04	Earlier Name(s)	Datar Ganpati mandir

2.05	Earlier Use(s)	Mandir
2.06	Historical Significance	Associated with the Datar Family that owns the Datar wada. The family was associated with the Peshwa rulers of Pune and wielded much power in this town. It was also a wealthy family and associated with the freedom struggle too. The Mandir is supposed to belong to this family.
2.07	Cultural Significance	It is one of the important Mandir in the town.
2.08	Architectural Significance	Not much architectural significance.
2.09	Townscape Significance	Landmark Mandir due to associative value.
2.10	Other Significance	NA
2.11	Value Classification	A(His), A(Cul), Town
2.12	Recommended Grade	Deleted

PHYSICAL CHARACTERISTICS

3.01	Height	@18 feet till ridge		
3.02	No. of Floors	ground + Attic		
		Description	Problem/Threat	Condition
3.03	Structural System	timber structure on stone plinth, brick walls partly load bearing	structural dilapidation	Major Repair
3.04	Plinth	bassalt stone dressed	uneven settlement	Minor Repair
3.05	Walls	brick walls, plastered and painted	plaster is repaired in patches, discoloration, cracks in walls at a few places. Seepage seen near floor.	Minor Repair
3.06	Floors	shahabad stone flooring newly laid, attic created by timber planks on roughly hewn timber joists	attic floor joists need repairs since a few are buckling, joinery near supporting column is opening up.	Good
3.07	Stairs	No. Only 2 steps to plinth	NA	Good
3.08	Openings	Timber frame and shutter for door. Small windows with timber grill. New grill with MS weld mesh in timber frame installed on the facade. Attic has an open face on the front.	Weld mesh grill looks incongruent and jarring.	Minor Repair
3.09	Roof	manglore tiles over timber rafters	needs minor repairs	Minor Repair
3.10	Articulation	Virtually nil except the old window timber grill and the column capital in the centre of the Mandir.	need maintenance	Minor Repair
3.11	Finishes	Walls plastered and painted, Shahabad stone floor, painted timberwork	seepage seen at some places defacing the newly applied colour	Good
3.12	Furniture	Not of any value	NA	-
3.13	Compound/Fence/Gate	brick boundry wall + MS Gate	NA	Good
3.14	Curtilage / unbuilt / space / out buildings / landscape	open space in front of Mandir	NA	Good
3.15	Lighting	Natural through the open front. Artificial lighting provided now.	Random wiring	Minor Repair
3.16	Ventilation	Natural	NA	Good
3.17	Electricity	Introduced later	Random wiring and fixtures	Minor Repair
3.18	Water Supply	Outside the Mandir	NA	Good
3.19	Plumbing & Drainage	not provided since not required	NA	-

3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	The Mandir has undergone changes and repairs and additions through many years and hardly retains its original character. But the existence of this Mandir is recorded and the deity is original.		
3.22	Overall Maintenance Status	Maintenance level is average, no structural maintenance, maintained by private individual. Demolished and Renovated		
3.23	Overall Condition	-		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential
4.02	Overall Problems & Threats	Ageing of structural timber members.
4.03	Additional Notes	Ganpati idol is similar to one which is carved on doorway of Rameshwar Mandir. Courtyard once had a water fountain with stone pipes The Site has been Demolished and Renovated
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	NA

Images



Image Title: Datar Ganpati Mandir
Image Type: Front-View
Reference: Wooden Grill of the temple window



Image Title: Datar Ganpati Mandir
Image Type: Front-View
Reference: The new interiors of the temple



Image Title: Datar Ganpati Mandir
Image Type: Top-View
Reference: Deterioration to structural woodwork



Image Title: Datar Ganpati Mandir
Image Type: Front-View
Reference: The diety in the temple



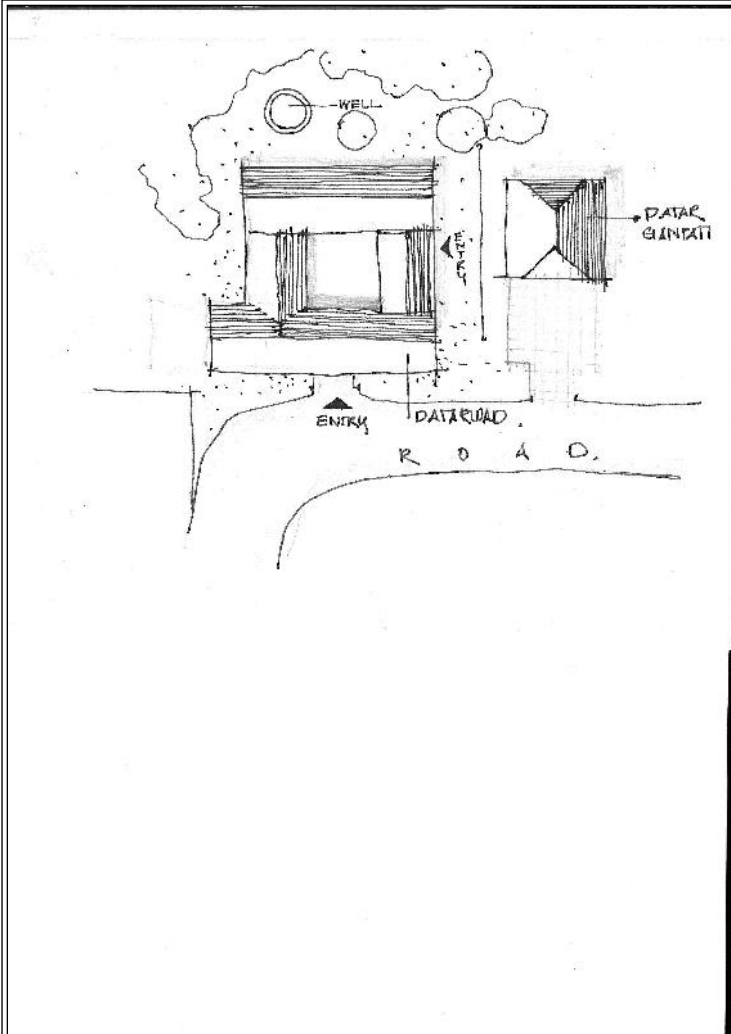


Image Title: Datar Ganpati Mandir
Image Type: Top-View
Reference:



Image Title: Datar Ganpati Mandir
Image Type: Top-View
Reference: Ceiling of the temple



Image Title: Datar Ganpati Mandir
Image Type: Top-View
Reference: Deteriorating wooden ceiling of the temple



Image Title: Datar Ganpati Mandir
Image Type: Top-View
Reference: Deterioration of the woodwork



Image Title: Datar Ganpati Mandir
Image Type: Top-View
Reference: Deterioration as structural woodwork



Image Title: Datar Ganpati Mandir
Image Type: Front-View
Reference: General view of the temple from the street



Image Title: Datar Ganpati Mandir
Image Type: Front-View
Reference: Adhoc up of the temple front



Image Title: Datar Ganpati Mandir
Image Type: Front-View
Reference: The newly built temple in place of old one

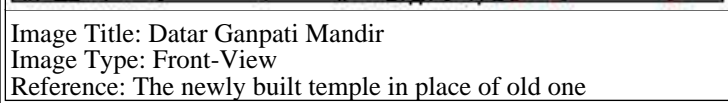


Image Type: Front-View

Reference: The newly built temple in place of old one

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Datar Wada

BASIC DETAIL

1.1	Premise Name	Datar Wada
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Datar Wada
1.03	Internal Reference Number	
1.04	CS No	2076
1.05	Street Name 1	Datar Aali
1.06	Street Name 2	Londhe Wada
1.07	Area / Locality	Datar Aali
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Datar family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	285 years
1.16	Plot Area (sq.mt)	988 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	I
1.20	Brief Detail	A very fine example of Maratha Wada architecture with central court, and a predominantly wooden structure.
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	1725
2.02	Extensions/ Modifications in	Many modifications at all times
2.03	Extensions/ Modifications Details	Additions & Separations in Rooms at upper floors, addition of walls, Toilets, windows, railings, stairs, services, repairs of all kinds etc.
2.04	Earlier Name(s)	Datar Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	<p>This wada belonged to the Datar family and was originally built in c.1725. Pen was the stockyard of the region of konkan. Goods from Pune, Satara, Khopoli were transited through Pen. Jungle wood, Sagwan (<i>Tectona grandis</i>), mangoes, jamun (<i>Syzygium cumini</i>) were traded. The Datars were the tax collectors. One of the Datars of the Datar family was involved in the conspiracy of the murder of Jackson. Hence the British arrested him and burnt down all the important documents, destroying the history of the wada. Thus no trace of the history of the wada is available.</p> <p>One of the very few surviving structures in Pen dating back to the time of its establishment. The Datar family had connections with powerful Peshwa rulers and hosted the Peshwas in their journeys in this part. Also this family was active in the freedom struggle.</p>
2.07	Cultural Significance	<p>Living witness to cultural history of Pen, almost as old as the town itself. Gives a fair idea of the lifestyle and culture of the times it was built in.</p> <p>The wada which was originally used by the Datar joint family had one kitchen, but now has six brothers each having an independent kitchen and deoghar. Three generations of women observed purdah but the women of the present generation are educated and working. Marriages used to be conservative, but not any more and intercaste marriages have become acceptable. The present generation belongs to the service background. Ganeshotsav and Kojagiri are celebrated very enthusiastically and the wada comes alive during these celebrations with every member participating.) (ref. Gupta Rupa Raje, The wada of Maharashtra, an Indian courtyard house form, unpublished Ph.D. Thesis, Welsh school of Architecture, Cardiff)</p>
2.08	Architectural Significance	An excellent example of Peshwa period architecture and perhaps the only surviving one in this region. It is grand in scale and rich in appointment displaying excellence in wood and lime stucco craft. It is a complete house thus serving as a good source of typological study of the region and period.
2.09	Townscape Significance	Landmark value. Historical building of the town.
2.10	Other Significance	NA
2.11	Value Classification	A(his), A(cul), A(arc)
2.12	Recommended Grade	I

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 2 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber structure on stone plinth with brick walls that are partly load bearing.	Needs Minor repairs	Minor Repair
3.04	Plinth	Basalt stone finely dressed	NA	Good
3.05	Walls	Fine dressed cut stone masonry till ground floor cill level, brick masonry above and on upper floors. Mud and lime plaster to masonry	NA	Good
3.06	Floors	Timber Floors. Original stone flooring at ground floor replaced with polished kota tiles. Timber floors on upper storeyes replaced by Shahabad flooring	NA	Good
3.07	Stairs	Original stairs embedded in walls. Timber stairs with timber balustrades in veranda are a later addition. Stone steps in courtyard.	Signs of sagging and ageing of timber member	Ruin
3.08	Openings	Solid timber shutters for doors and windows with heavy ornamentation. Main door has a wicket shutter.	New section have sliding windows mosquito nets added	Good
3.09	Roof	Manglore tiles over timber purlins and rafters. Originally country tiles were used.	Sagging , flaking of timber members	Minor Repair
3.10	Articulation	Exquisitely carved timber members like column capitals, brackets cornices, door frames, arches, medallions.Example of very fine workmanship. Very good quality lime stucco work is also seen at places to make patterns that are typical of the Islamic influence during the period.	NA	Good
3.11	Finishes	Lime wash to plaster. Some painting at a few places may be original. Stone flooring on ground floor, timber flooring on the upper. Woodwork is oiled.	NA	Good

3.12	Furniture	Hardly any original exists	NA	Minor Repair
3.13	Compound/Fence/Gate	The building is inward looking. all rooms open on a veranda or balcony surrounding a large internal courtyard. The wada must have had open space and perhaps even a garden around it once but is now surrounded by other buildings.	NA	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	Large central courtyard with a stone fountain. Surrounding area is occupied by newer buildings. Constuction of an apartment building in RCC and brick is happening such that the new building nearly touches the wada.	Ganpati Mandir in the premises now demolished and renovated and car shed added.	Minor Repair
3.15	Lighting	Natural. Mostly indirect to rooms through the internal courtyard filtered thru the veranda or gallery. Now, artificial lighting available	NA	Minor Repair
3.16	Ventilation	Natural and induced by the courtile plan + artificial ventilation now available.	NA	Good
3.17	Electricity	Yes, available now.	NA	Good
3.18	Water Supply	Well in backyard. Now tap water is also available.	NA	Good
3.19	Plumbing & Drainage	Now added.	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	Not provided.	NA	-
3.21	Incongruent Transformation	Paint over existing wall paintings.		
3.22	Overall Maintenance Status	Maintenance level is average, no structural maintaince, maintained by private individual. Average but needs minor repair for structure and major repair for roof.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Datar Wada Premises on the East.
4.02	Overall Problems & Threats	Ageing of structural timber members.
4.03	Additional Notes	Said to have water fountain with stone pipes. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Datar Shridhar Hari, Datar Kulvrittanta, Pune 1974. Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unp
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images



Image Title: Datar Wada
Image Type: Front-View
Reference: Side abutting the Datar Ganpati Mandir



Image Title: Datar Wada
Image Type: Front-View
Reference: View of the Wooden Carving



Image Title: Datar Wada
Image Type: Rear-View
Reference: Rear view of the wada



Image Title: Datar Wada
Image Type: Front-View
Reference: View of the internal stairs



Image Title: Location Plan
Image Type: Top-View
Reference: Location map



Image Title: Datar Wada
Image Type: Side-View2
Reference: Part street view of the wada



Image Title: Datar Wada
Image Type: Front-View
Reference: Street View of the wada

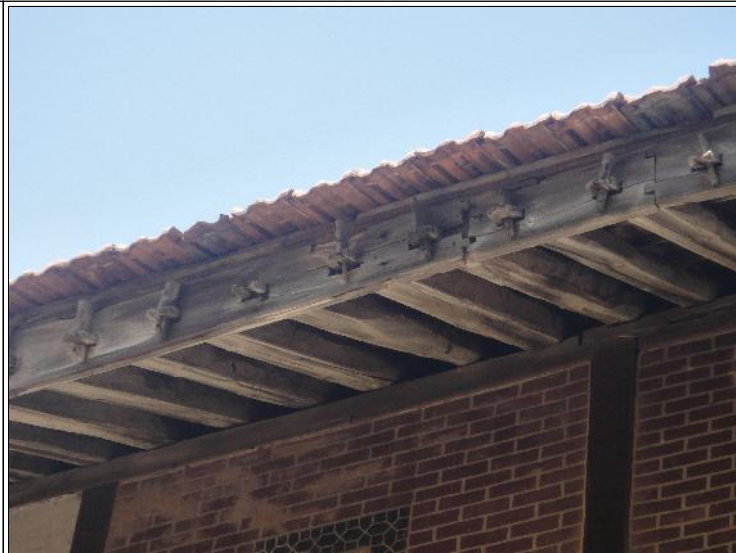


Image Title: Datar Wada Image Type: Front-View Reference: Unusual Detail of eare board fixing on the front facade



Image Title: Datar Wada
Image Type: Front-View
Reference: Ganpati at the entrance of the wada



Image Title: Datar Wada
Image Type: Front-View
Reference: Internal window of the wada



Image Title: Datar Wada
Image Type: Front-View
Reference: Internal view of the wada



Image Title: Datar Wada
Image Type: Front-View
Reference: View of the door



Image Title: Datar Wada
 Image Type: Front-View
 Reference: Close up of plaster with brick pattern painted on it on the Second Floor of the Wada

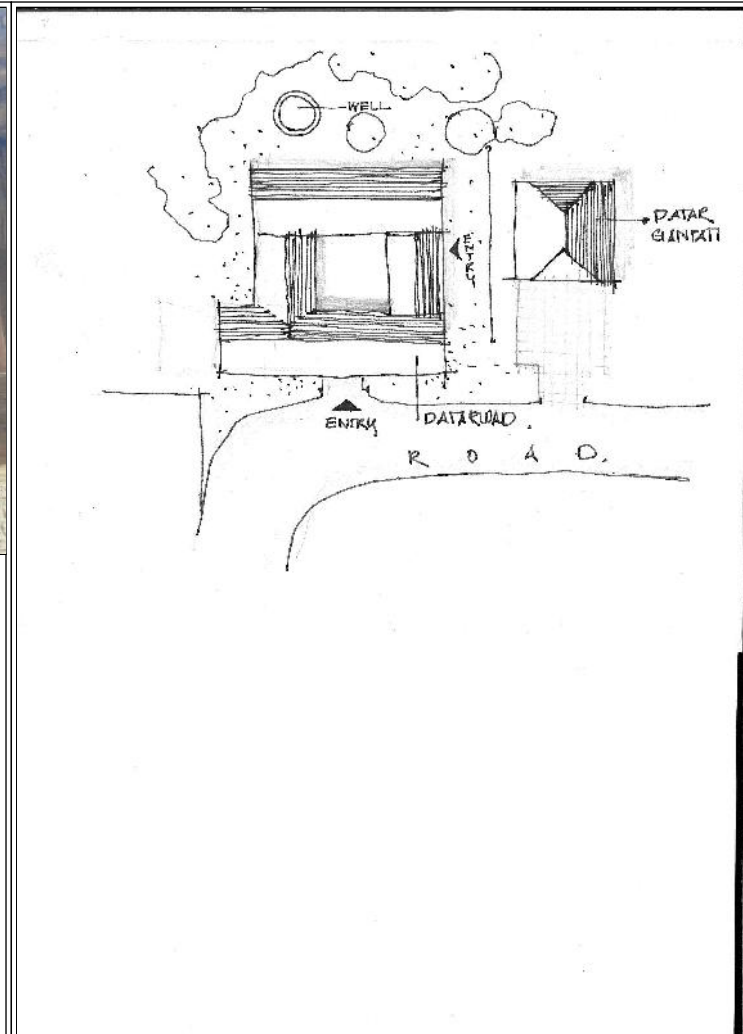


Image Title: Datar Wada
 Image Type: Top-View
 Reference:



Image Title: Datar Wada
Image Type: Front-View
Reference: Internal Verandah



Image Title: Datar Wada
Image Type: Top-View
Reference: Close up of plaster with brick pattern painted on it on the Second Floor of the Wada



Image Title: Datar Wada
Image Type: Front-View
Reference: Close up of the First Floor window of the front facade



Image Title: Datar Wada
Image Type: Front-View
Reference: Roof of the Datar Wada from the adjoining apartment building



Image Title: Datar Wada
Image Type: Front-View
Reference: View of the entrance door



Image Title: Datar Wada
Image Type: Top-View
Reference: View of the ceiling



Image Title: Datar Wada
Image Type: Front-View
Reference: View of the Wooden Carving



Image Title: Datar Wada
Image Type: Front-View
Reference: View of the Wooden Carving



Image Title: Datar Wada
Image Type: Front-View
Reference: View of the door edges



Image Title: Datar Wada
Image Type: Front-View
Reference: Street View of the Datar Wada



Image Title: Datar Wada
Image Type: Front-View
Reference: Detail view of the main street entrance to the wada



Image Title: Datar Wada
Image Type: Front-View
Reference: Internal Carving of the wada

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Deodhar Wada

BASIC DETAIL

1.1	Premise Name	Deodhar Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	11
	Village	Pen
	Identification	Deodhar Wada
1.03	Internal Reference Number	
1.04	CS No	1878
1.05	Street Name 1	Vasudev Balwant Phadke Marg
1.06	Street Name 2	11 Gharanchi Galli
1.07	Area / Locality	Pen
1.08	Nearby landmark if any	
1.09	Pin Code	402107
1.10	Current Owner	Mr. Anand and Sadanand Deodhar
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	around 150 Years Old
1.16	Plot Area (sq.mt)	1220.7 Sq.Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	III
1.20	Brief Detail	An L shaped G + 1 residence abutting a street and enclosing a garden behind. Typological Significance, Scale, Presence of outdoor elements like garden and well.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	no records available by age may be around a 100 to 150 years.
2.02	Extensions/ Modifications in	no record available
2.03	Extensions/ Modifications Details	Many minor modifications but no major change apparent.
2.04	Earlier Name(s)	Deodhar Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	Family residence of the leading sculptor family from Pen.
2.07	Cultural Significance	One of the houses in the '11 Gharanchi Galli'
2.08	Architectural Significance	Large house displaying regional architectural characters and elements particularly of the colonial period.
2.09	Townscape Significance	Contribution to the townscape especially the streetscape.
2.10	Other Significance	The Kokan house is usually associated with a large "Wadi" or a plantation behind the house. In its diminutive form a house may have a large back garden. In urban areas like Pen, this form has nearly disappeared. But Deodhar house still retain a sizable garden with a well.
2.11	Value Classification	A(His), A(Cul), Town
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper+ 1/2		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber structure with partly load bearing brick walls on Stone plinth. Street side wall of ground floor is of dressed stone.	No major problems	Good
3.04	Plinth	Basalt coursed dressed plinth	Slight uneven settlement seen	Minor Repair
3.05	Walls	Partly load bearing brick walls. Dressed stone wall for ground floor on street side.	Good	Good
3.06	Floors	Timber first floor supported on timber joists; natural stone flooring	No major repairs	Good
3.07	Stairs	Timber	No major repair	Good
3.08	Openings	Panel doors and windows and timber frames. Vertical iron bars for grills. Gallery on garden side with iron bar grill.	No major repairs	Good
3.09	Roof	Mangalore tiles on timber rafters and purlins. GI sheet awning.	No major repairs. Awnings needs replacement of a few sheets	Minor Repair
3.10	Articulation	Timber brackets for ground floor awnings on street side. Minimal use of decorative elements	Maintenance to brackets necessary	Good
3.11	Finishes	Walls plastered and painted, Shahabad stone flooring, timber work painted, iron work painted.	Ironwork needs painting. Most of the building was newly painted. Timber work on the street facade also needs fresh paint. Paint on the stone wall on ground floor street facade should be removed.	Minor Repair
3.12	Furniture	not significant	NA	Minor Repair
3.13	Compound/Fence/Gate	Wada has a large door with vertical iron bar grill on the street side. as a part of the street fronting building.	minor repairs	Minor Repair
3.14	Curtilage / unbuilt / space / out buildings / landscape	Large garden enclosed by L shaped building at the rear side of the plot. Well in garden.	NA	Good
3.15	Lighting	Natural lighting through windows and gallery overlooking the garden. Electric lights introduced later.	Wiring needs to be done sensitively and safely	Minor Repair
3.16	Ventilation	Natural ventilation through windows and gallery overlooking the garden. Electric fans introduced later.	Wiring needs to be done sensitively and safely	Minor Repair
3.17	Electricity	Added later. Cabling through PVC round surface mounted pipes.	Wiring needs to be done sensitively and safely	Minor Repair

3.18	Water Supply	Tap water now. Well in garden still in use.	No major repair	Good
3.19	Plumbing & Drainage	Toilets added in side margin later on both floors,rain water gutter and downtake pipe also added later on the same side as toilets as well as part of roof facing the internal garden	needs repairs.toilet walls show growth of lot of moss on the external side	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Window air conditioner fitted on street side	Mars the elevation. renders window shutter useless	-
3.21	Incongruent Transformation	Toilet Block Added		
3.22	Overall Maintenance Status	Good overall condition. Needs Minor Repair		
3.23	Overall Condition	Good		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Deodhar Wada Premises on the South.
4.02	Overall Problems & Threats	As the building abuts the street, any road widening exercise is bound to be a threat. Also the large size of the plot is a threat since it is attractive to real estate developers.
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images



Image Title: Deodhar Wada
Image Type: Front-View
Reference: Wada seen from the back yard



Image Title: Deodhar Wada
Image Type: Front-View
Reference: Well in the premises of the wada



Image Title: deodhar wada
Image Type: Front-View
Reference: View of the water wheel on the well inside the wada premises



Image Title: Deodhar Wada
Image Type: Front-View
Reference: General street side view of the wada



Image Title: Deodhar Wada
Image Type: Front-View
Reference: Street view of the main entrance door



Image Title: Deodhar Wada
Image Type: Side-View1
Reference: The L Shaped wada with the street entry as seen from Inside the wada



Image Title: Deodhar Wada
Image Type: Front-View
Reference: Close up of the wooden brackets on the facade



Image Title: Deodhar Wada
Image Type: Front-View
Reference: Main entry to the wada



Image Title: Deodhar Wada
Image Type: Front-View
Reference: General view of the wada from the street



Image Title: Deodhar Wada
Image Type: Front-View
Reference: Close up of the first floor windows now much modified from the original



Image Title: Location Plan
Image Type: Top-View
Reference: Location map

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Deshpande Wada

BASIC DETAIL

1.1	Premise Name	Deshpande Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	03
	Village	Pen
	Identification	Deshpande Wada
1.03	Internal Reference Number	
1.04	CS No	1156
1.05	Street Name 1	Ziral Ali
1.06	Street Name 2	
1.07	Area / Locality	Pen
1.08	Nearby landmark if any	
1.09	Pin Code	402107
1.10	Current Owner	Mr. Deshpande, Mr. More and Mr. Pradhan
1.11	Type of Owner	Private
1.12	Type of Occupancy	Partly Leased / Rented
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	around 150 Years Old
1.16	Plot Area (sq.mt)	946.5 Sq.Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	III
1.20	Brief Detail	This is an example of a residential typology and method of construction prevalent in the last decades of the nineteenth century. It is a precursor to the typology that evolved thereafter and is widely seen in the region. This later typology had a lot of features influenced by the British architecture and roots of this change are seen in this particular example.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	not available. But estimated age is more than 150 years.
2.02	Extensions/ Modifications in	minor modifications over time
2.03	Extensions/ Modifications Details	no major modifications
2.04	Earlier Name(s)	Deshpande Wada

2.05	Earlier Use(s)	Residential
2.06	Historical Significance	Old wada more than 150 years in age.
2.07	Cultural Significance	Wada of a well to do Brahmin family in a lane with houses of the same community.
2.08	Architectural Significance	Representative of the typology of a double storey residence with lean-to roof verandas surrounding it on the ground floor. Its age is more than 150 years and it still retains a number of characters and elements from that period.
2.09	Townscape Significance	Located in an area called Ziral ali with many old structures suggesting a neighbourhood of buildings with similar character.
2.10	Other Significance	NA
2.11	Value Classification	A(arc), Town
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@20 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber frame structure on basalt stone dressed plinth with partly load bearing brick walls	Timber members are rotting, joints have weakened and at places started opening. Alignments have gone out of line and plumb. Overall,it needs immediate attention.	Major Repair
3.04	Plinth	Dressed basalt stone plinth. Plinth of the veranda not very regular and finished.	Needs major maintenance signs of uneven settlement	Major Repair
3.05	Walls	2' thk brick walls that bear the weight of floor and roof along with the thick timber columns.	Plaster is chipping off, cracks in walls are apparent	Major Repair
3.06	Floors	First floor supported on timber beams and joists. Timber planks support a mud filling above that forms the first floor. Mud + Cow Dung flooring	Planks show signs of moisture seepage. Joists and beams need repair. Flooring needs maintenance	Major Repair
3.07	Stairs	Timber stairs	Needs major maintainnce, termite problem for timber	Major Repair
3.08	Openings	Solid timber plank shutter with timber frame. Some places have panel shutters suggesting a later date modification.	Cracking and flaking of surface. Weak joinery, hardware joinery needs repairs.	Minor Repair
3.09	Roof	Mangalore tiles on timber purlins and rafters. Rafters are unfashioned.	Rafters need realignment and relaying of tiles. Roof shows sagging at places.	Major Repair
3.10	Articulation	Carving in wood at cornices,column capitals,door fames etc. But overall articulation is minimal.	plasterd stucco work in ruined state.	Minor Repair
3.11	Finishes	Mud and Lime plaster, shahbad flooring for ground in rooms is a later addition. Walls are painted from outside. Timber work is oiled.	All finishes have weathered and worn out.	Minor Repair
3.12	Furniture	Not of significance	NA	-
3.13	Compound/Fence/Gate	Dressed basalt and brick compound wall	NA	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	Open spaace on three sides with toilet block in backyard	Toilet block is in a bad shape	Major Repair
3.15	Lighting	Natural through windows, has tall windows and a few of these have a later date two level shutter + Aritificial added now.	Unsystematic and unplanned electrification	Major Repair
3.16	Ventilation	natural through windows + Aritificial added now	NA	Good
3.17	Electricity	Yes. Introduced later.	Haphazard and risky	Major Repair

3.18	Water Supply	Well. Now tap water available.	Needs well laid out and planned supply lines	Minor Repair
3.19	Plumbing & Drainage	Septic Tank. Old WC block in the garden. Old drainage seen from the house but not for night waste.	Existing drains need maintenance. New lines need to be put.	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	No provision	NA	-
3.21	Incongruent Transformation	There is no major incongruent transformation but the overall stare of repair and maintenance is bad and needs urgent attention.		
3.22	Overall Maintenance Status	Not maintained regularly, tenants maintain the part that is leased. But overall, it needs urgent repairs and maintenance.		
3.23	Overall Condition	Major Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Deshpande Wada Premises on the South.
4.02	Overall Problems & Threats	Road Widening poses a threat as the building touches the road. Termites, leakage, non- maintenance are all serious threats as the building will soon collapse if not attended to.
4.03	Additional Notes	Current tenant is Mr.Milind Koletkar, Oral history : A relief in form of hanuman is seen at gabel end of house said to be a governing deity of the place, Originally this lane belonged to salt traders. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist, Pen

Images



Image Title: Deshpande Wada
Image Type: Rear-View
Reference: Rear View of the house



Image Title: Deshpande Wada
Image Type: Rear-View
Reference: Rear View of the house

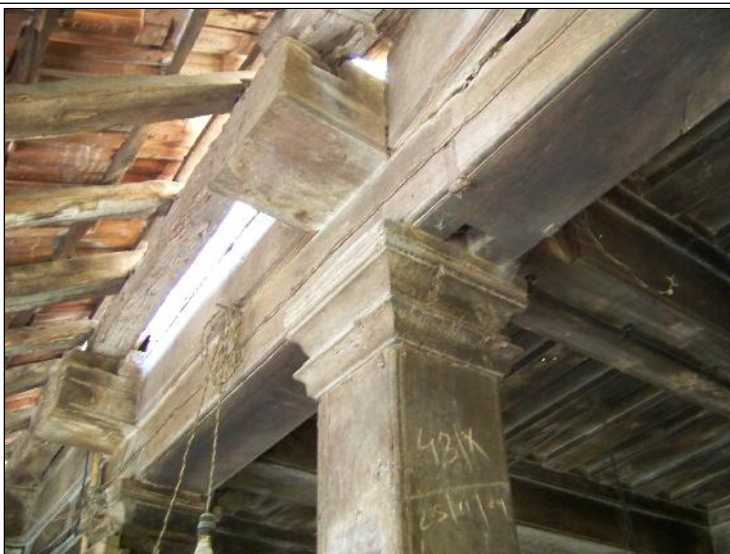


Image Title: Deshpande Wada
Image Type: Top-View
Reference: Detail of timber joints of the columns and beams



Image Title: Deshpande Wada
Image Type: Side-View1
Reference: General View as the wada from the street



Image Title: Deshpande Wada
Image Type: Front-View
Reference: View of the wada from the street



Image Title: Deshpande Wada
Image Type: Side-View2
Reference: View of the Verandah and first floor



Image Title: Deshpande Wada
Image Type: Front-View
Reference: Detail of stone pedestal of the timber columns



Image Title: Location Plan
Image Type: Top-View
Reference: Location map



Image Title: Deshpande Wada
Image Type: Front-View
Reference: Front view of the house



Image Title: Deshpande Wada
Image Type: Top-View
Reference: Light fitting and wooden beam in the middle of the ceiling

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Dharkar Wada

BASIC DETAIL

1.1	Premise Name	Dharkar Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	02
	Village	Pen
	Identification	Dharkar Wada
1.03	Internal Reference Number	
1.04	CS No	752
1.05	Street Name 1	Shivaji Path
1.06	Street Name 2	
1.07	Area / Locality	Opp Kolhatkar Wada
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Dharkar Family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	More than 250 years old
1.16	Plot Area (sq.mt)	772.6 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	IIA
1.20	Brief Detail	Unique variation on regional typology due to colonial influence. It is large in scale as compared to the other residences in the area. Its features like the large arched openings on the ground floor and the timber and glass panelled verandah on the first floor along with its vaulted ceiling in the front makes it an interesting example for typological studies.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	Probably built in 17th century by Sitaram Govind Dharkar.
2.02	Extensions/ Modifications in	NA
2.03	Extensions/ Modifications Details	NA
2.04	Earlier Name(s)	Dharkar Wada

2.05	Earlier Use(s)	Residential
2.06	Historical Significance	Residence of the first family of Pen. The Dharkar family was quite active in the politics of Pen. Till today eight members of the Dharkar family have been elected as the Nagaradhyaksha of Pen.
2.07	Cultural Significance	The building is an interesting mix of local and colonial features though the overall space configuration of the house remains local, the expression in the third dimension is colonial in keeping with the avant grade are perceived by local. This residence finds no parallel in the entire town. The interiors too survive to a large extent as per original design.
2.08	Architectural Significance	It is an example of intermixing of colonial influences with local architecture. Especially, its features like the large arched openings on the ground floor and the timber and glass panelled verandah on the first floor along with its vaulted roof in the front makes it an interesting example for typological studies.
2.09	Townscape Significance	A landmark in the neighborhood.
2.10	Other Significance	Contains a stone inscription.
2.11	Value Classification	A(arc), A(His), A(Cul), Town
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Brick load bearing walls and timber frame structure	minor repairs for seepage	Minor Repair
3.04	Plinth	stone ashlar dressed	NA	Good
3.05	Walls	brick walls plastered painted	slight seepage observed	Minor Repair
3.06	Floors	Timber Floor	Roof of first floor leaks	Major Repair
3.07	Stairs	Timber stairs	NA	Good
3.08	Openings	Timber Shutters with coloured glass. The first floor has a well articulated timber and glass facade spanning the entire front of the building. Ground floor arched openings have openable louvered fan lights.	discolouration at a few places, weathering mainly due to moisture.	Minor Repair
3.09	Roof	Mangalore tiles on timber rafters	Roof of first floor leaks.	Major Repair
3.10	Articulation	Large arched ground floor facade while the first floor is unique due to its segmental arched roof vault and a full timber and glass facade. The ground and first floors are separated by a deep cornice. key stones of ground floor arches are exaggerated in size.	Seepage problem for all timber members.	Minor Repair
3.11	Finishes	Plastered surfaces are painted. Wooden members are also painted. Coloured glass is used in a few window panels. Flooring is stone. Roof is covered with mangalore tiles.	maintenance needed	Minor Repair
3.12	Furniture	Some pieces of old furniture survive in the house. Notable is the deoghar. Also notable are a few chandelier pieces on the first floor. The first floor room has a wooden false ceiling.	Mixed with furniture from different periods	Good
3.13	Compound/Fence/Gate	Low compound wall with grill.	NA	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	The house has a small garden in the margins around the building. A Tulsi vrindavan and a well form a part of the open area.	NA	Good
3.15	Lighting	natural through windows + Artificial. The first floor glass enclosed verandah brings in interesting light and shadows.	NA	Good

3.16	Ventilation	natural through windows + Artificial with fans.	NA	Good
3.17	Electricity	Yes. But not part of the original design.	Could be routed better to suit the architectural features and character of the house.	Minor Repair
3.18	Water Supply	Municipal supply and well in the compound.	NA	Good
3.19	Plumbing & Drainage	Newly added	Could be more thoughtfully done so as to integrate well with the design of the building.	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	There have been periodic changes in the house but not anything that has marred its overall character.		
3.22	Overall Maintenance Status	Good		
3.23	Overall Condition	Good		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Dharkar Wada Premises on the West and South.
4.02	Overall Problems & Threats	NA
4.03	Additional Notes	Introduction of Modern services as well as water piping seepage through walls, openings on the first floor need to be carefully addressed timber work, ceiling etc. need maintenance. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images

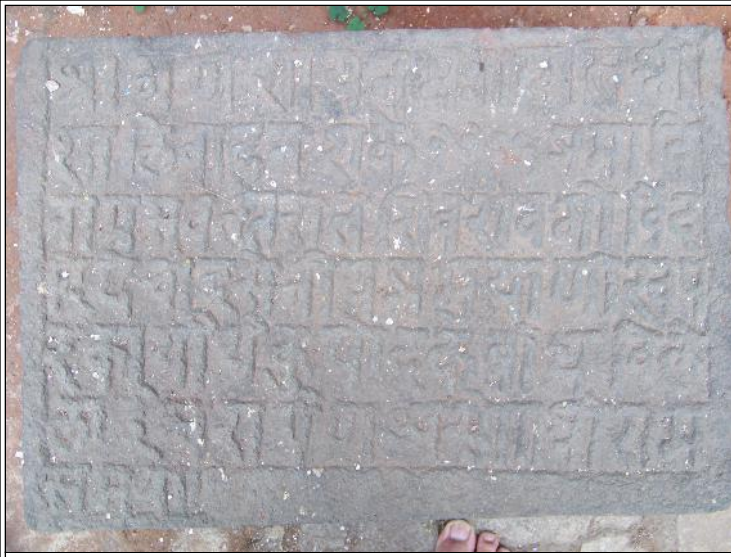


Image Title: Dharkar Wada

Image Type: Front-View

Reference: Inscription near the plinth of the wada



Image Title: Dharkar Wada

Image Type: Top-View

Reference: Well appointed living room on the first floor



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: Location Plan
Image Type: Top-View
Reference: Location Map



Image Title: Dharkar Wada
Image Type: Side-View1
Reference: Street facing arched openings of the verandah later filled in with windows



Image Title: Dharkar Wada
Image Type: Top-View
Reference: Period lighting fixtures in the first floor living room



Image Title: Dharkar Wada
Image Type: Rear-View
Reference: Disfiguration due to dampness



Image Title: Dharkar Wada
Image Type: Top-View
Reference: Upper hall of the wada



Image Title: Dharkar Wada
Image Type: Front-View
Reference: View of the wada from the opposite lane



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Tulsivrandavan in the premises



Image Title: Dharkar Wada
 Image Type: Front-View
 Reference: Timber stairs leading to first floor

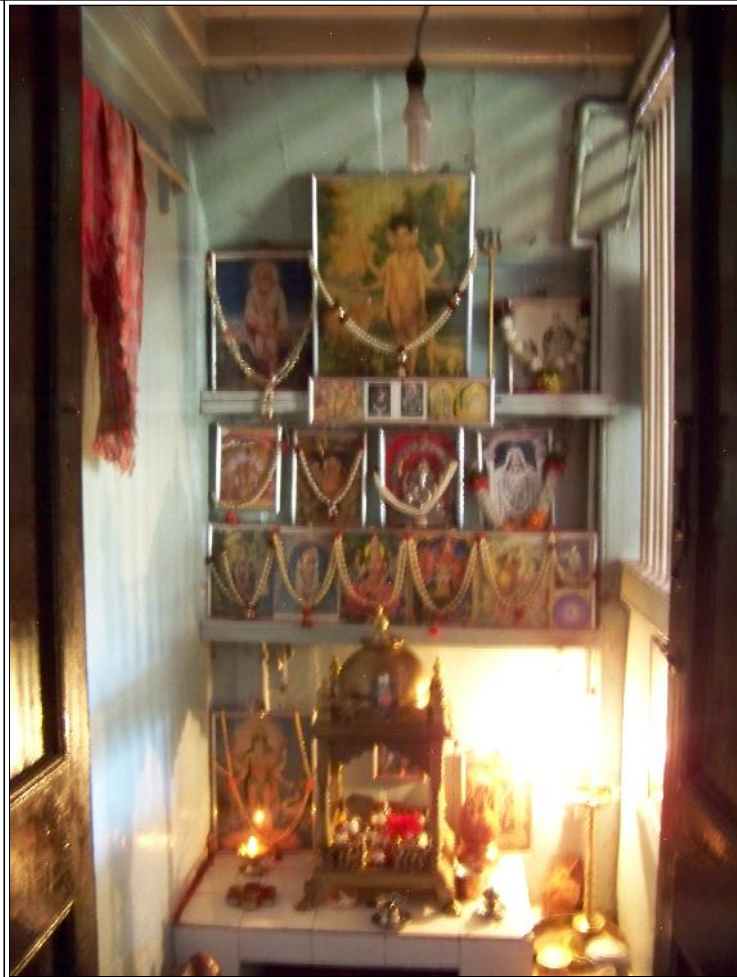


Image Title: Dharkar Wada
 Image Type: Front-View
 Reference: Deo ghar



Image Title: Dharkar Wada
 Image Type: Front-View
 Reference: Detail as filler window in the ground floor arches
 fronting the street



Image Title: Dharkar Wada
 Image Type: Top-View
 Reference: Arched Verandah having the strew with main door
 beyond



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Side view of the wada from its garden



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Wooden Stairs



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Internal view of the wada



Image Title: Dharkar Wada
Image Type: Front-View
Reference: Drainage connection added later



Image Title: Dharkar Wada
Image Type: Top-View
Reference: Internal view of the wada



Image Title: Dharkar Wada
Image Type: Top-View
Reference: Period lighting fixtures in the first floor living room

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Ganpati Mandir Chavdinaka

BASIC DETAIL

1.1	Premise Name	Ganpati Mandir Chavdinaka
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	11
	Village	Pen
	Identification	Ganpati Temple Chavdinaka
1.03	Internal Reference Number	
1.04	CS No	1869
1.05	Street Name 1	Chavdi Naka
1.06	Street Name 2	
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Bramhin Community
1.11	Type of Owner	Trust
1.12	Type of Occupancy	Mandir
1.13	Current Use	Religious
1.14	Type of Use	Religious
1.15	Age	Around 100 Years
1.16	Plot Area (sq.mt)	101.2 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IIA
1.20	Brief Detail	Representative of a temple typology specific to the region. Serves as a landmark of the town.
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	1913. Deity might be older
2.02	Extensions/ Modifications in	no major extension
2.03	Extensions/ Modifications Details	No major extension or modification except new flooring laid
2.04	Earlier Name(s)	Ganpati Mandir, Chavdinaka
2.05	Earlier Use(s)	Religious

2.06	Historical Significance	NA
2.07	Cultural Significance	Constructed by contribution from local residents
2.08	Architectural Significance	Representative of a Temple typology of a shrine enclosed in a double height hall with overlooking galleries that is specific to the region. These temples are characterised by a sloping roof without a typical temple spire. A small sanctum sanctorum with a diarunitive spire is housed inside this hall like building. Due to this feature, this type of temple has a residential visual character.
2.09	Townscape Significance	Landmark value. Earlier, as the name suggests, it was near a 'naka' ie check post at the entry of the town. It thus had a landmark significance due to its location rather than its physical structure. That association continues still, even though the naka is no more operational.
2.10	Other Significance	NA
2.11	Value Classification	A(Arc), A(Cul), Town
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with part loadbearing brick walls	No major issue	Good
3.04	Plinth	Basalt dressed masonry (Khandki)	Uneven settlement, stone chipping off at some points.	Minor Repair
3.05	Walls	Brick plastered painted Front wall on ground floor is only an iron grill of full height	No major problem	Good
3.06	Floors	First floor gallery supported on timber joists and beams on timber columns with stone bases. Original flooring of ground floor replaced by Kota and Granite Tiles.	No major problem except minor weathering at a few places	Minor Repair
3.07	Stairs	Stone steps for entry, timber stairs to gallery	No major issue	Good
3.08	Openings	Timber panel shutters with grill for windows, Front door with timber frame and verticle iron bar grill. Front facade of ground floor made up of full height verticle iron bar grill.	Rusting of MS members	Minor Repair
3.09	Roof	Mangalore tiles on timber purlins and rafters	Minor adjustments for alignments	Minor Repair
3.10	Articulation	Articulated stone column bases, pendants on both front corners of the roof eaves, arch panel at the entry to garbha griha	No major problem	Good
3.11	Finishes	Walls are painted, wood and iron work is painted, flooring is newly laid stone tile	Discoloration of timber members at a few places, iron work needs a fresh coat of paint.	Minor Repair
3.12	Furniture	Old Bench, brass bells, old clock	No major problem	Good
3.13	Compound/Fence/Gate	nil	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	nil	NA	-
3.15	Lighting	Natural through openings especially the grilled open front / Artificial from electric lamps	No problem	Good
3.16	Ventilation	Double height of the Mandap and open front wall ensure good ventillation. Now electric fans are also installed	No problem	Good
3.17	Electricity	Newly introduced. Wiring is through PVC surface mounted round pipes that are painted with the same colour as the surface they run on.	Well laid out pipes at most places except a few instances that could be rectified	Good

3.18	Water Supply	nil in the temple	NA	-
3.19	Plumbing & Drainage	nil in the temple	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Not any major modification that is incongruent		
3.22	Overall Maintenance Status	Needs Maintenance		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Ganpati Mandir Premises on the North and West.
4.02	Overall Problems & Threats	Since the building abuts the road which was once the main road entering the town, any proposal for road widening is a threat.
4.03	Additional Notes	Generally for temples, insensitive renovations or "Jeernoddhars" are always a threat.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Ganpati Mandir Chavdinaka
Image Type: Front-View
Reference: Diety in the temple



Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Ganpati Mandir Chavdinaka Image Type: Front-View Reference: Street view of the temple
--



Image Title: Ganpati Mandir Chavdinaka
Image Type: Top-View
Reference: View of the timber ceiling

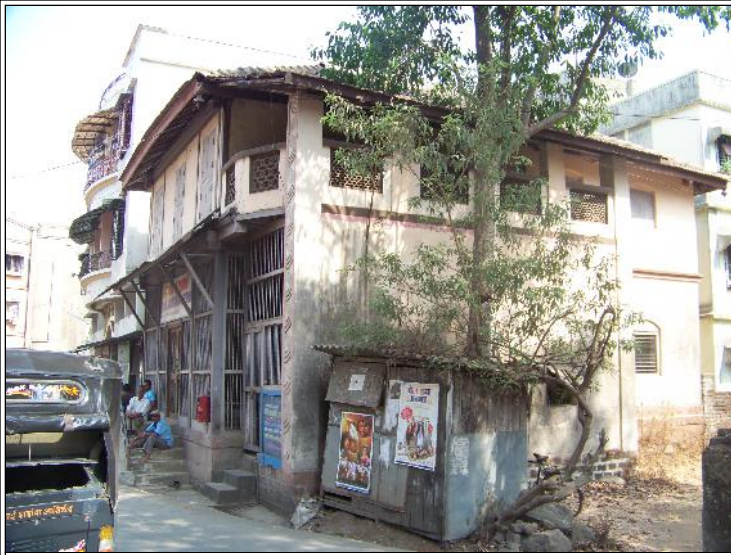


Image Title: Ganpati Mandir Chavdinaka
Image Type: Side-View1
Reference: General view from approach street



Image Title: Ganpati Mandir Chavdinaka
Image Type: Front-View
Reference: Thyme reading in progress in the mandap



Image Title: Ganpati Mandir Chavdinaka
Image Type: Front-View
Reference: Interior view of the sabhamandap and shrine

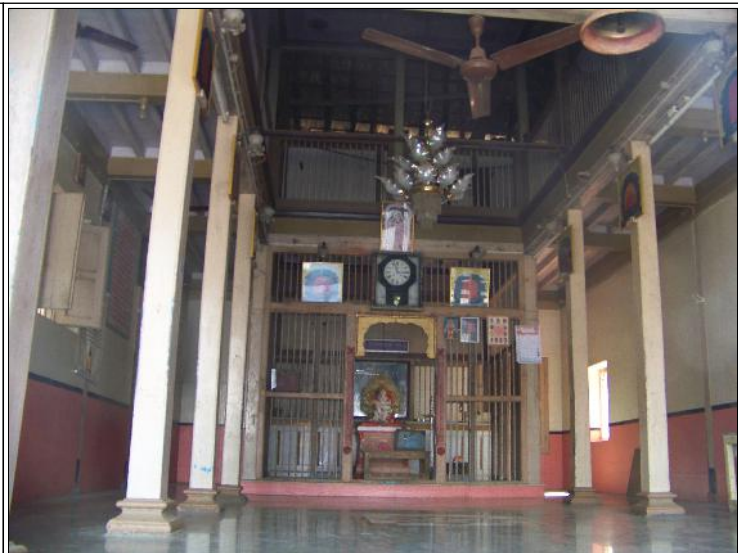


Image Title: Ganpati Mandir Chavdinaka
Image Type: Top-View
Reference: Overlooking gallery around the sabhamandap



Image Title: Ganpati Mandir Chavdinaka
Image Type: Front-View
Reference: Front facade from the street

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Ghangrekar Wada

BASIC DETAIL

1.1	Premise Name	Ghangrekar Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	12
	Village	Pen
	Identification	Ghangrekar Wada
1.03	Internal Reference Number	
1.04	CS No	2035
1.05	Street Name 1	Datar Aali
1.06	Street Name 2	
1.07	Area / Locality	Datar Aali
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Ghangrekar Family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	more than 100 Years
1.16	Plot Area (sq.mt)	1237.5 Sq.Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	III
1.20	Brief Detail	It is a variation on the residential type found in this region that is G+ 1 building with a front or side veranda either open or enclosed. It is a large residential property with garden around which was once a dominant characteristic of the area and which is fast disappearing now.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	Early 20th Century
2.02	Extensions/ Modifications in	Not dated
2.03	Extensions/ Modifications Details	Many minor modifications that are not dated but happened in different points in time. Room extension on east with A/c Slect roof.
2.04	Earlier Name(s)	Ghangrekar Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	NA
2.07	Cultural Significance	NA
2.08	Architectural Significance	Representative of a typology of timber frame and brick load bearing wall G+1 structure with open or enclosed verandas around on the ground floor. This a type that marks the change from the old vernacular of the region to a new one in the later part of the 19th century.
2.09	Townscape Significance	Group value. The type of house in a garden is fast disappearing in the town due to urban pressures. This is one of the few surviving examples of this type that once defined the townscape.
2.10	Other Significance	NA
2.11	Value Classification	A(arc), Town
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper + 1/2		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber structure on stone plinth with brick load bearing walls	Timber members show loss in alignment at a few places. Walls show a few deep cracks	Major Repair
3.04	Plinth	Basalt stone dressed	Uneven settlement in a few places	Major Repair
3.05	Walls	Partly load bearing brick walls with plaster and paint	Needs maintenance shows cracking. Gable end wall on east looks like it was modified	Minor Repair
3.06	Floors	Timber Floor on timber beams and joists, shahabad stone flooring for ground floor, attic floor (timber)	Timber shows fatigue in some members. Attic Floor timber.	Major Repair
3.07	Stairs	Timber staircase	Minor repair needed.	Minor Repair
3.08	Openings	Timber plank doors and windows. Iron verticle grills may be added later	Cracks seen at corners. Hardware needs refixing. Grills of various types and design mar the overall character of the original building. MS Grills and Mosquito net added	Minor Repair
3.09	Roof	Manglore tiles over timber rafters and purlins	Some tiles broken. Edge unfinished. Leakage on ground floor	Minor Repair
3.10	Articulation	Minimal articulation. First floor street face has niches on both sides of windows to keep an oil lamp	NA	Good
3.11	Finishes	Mud and lime plastered and painted exteriors and interiors. Timber members oiled	Discoloration and moss growth on walls. Plaster has fallen off at some places, at others there are patches of cement plaster done for repair. Timber has become dry due to absence of any oil treatment for a long time.	Major Repair
3.12	Furniture	not noteworthy	NA	-
3.13	Compound/Fence/Gate	random rubble masonry in mud mortar	dilapidated	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	garden around the house. Well in the garden	needs maintenance	Minor Repair
3.15	Lighting	Natural & now artificial by electric bulbs and tubelights	rudimentary electrification	Minor Repair
3.16	Ventilation	Natural & now artificial by electric fans	rudimentary electrification	Minor Repair
3.17	Electricity	Yes, but has been introduced much later.	Wiring needs relaying to make it safe and sensitive to the building.	Minor Repair
3.18	Water Supply	Well. Tap water now available	NA	Good

3.19	Plumbing & Drainage	WC introduced later. No rainwater gutters	maintenance required	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Room at ground floor added to main structure, Veranda (Padvi) enclosed later. Grills of various designs and materials added to newly created openings.		
3.22	Overall Maintenance Status	Needs urgent good maintenance for it to stop deteriorating into a state of ruin.		
3.23	Overall Condition	Major Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential
4.02	Overall Problems & Threats	Structural decay for timber members. Low maintenance to a degree such that the structure may soon deteriorate into a state of a ruin.
4.03	Additional Notes	Example of typical house in area of Kokan region. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Ghangrekar Wada
Image Type: Front-View
Reference: Detail of cracking of the wall on the front side



Image Title: Ghangrekar Wada
Image Type: Front-View
Reference: General view of the wada from the approach road



Image Title: Ghangrekar Wada
Image Type: Front-View
Reference: Front view of the wada

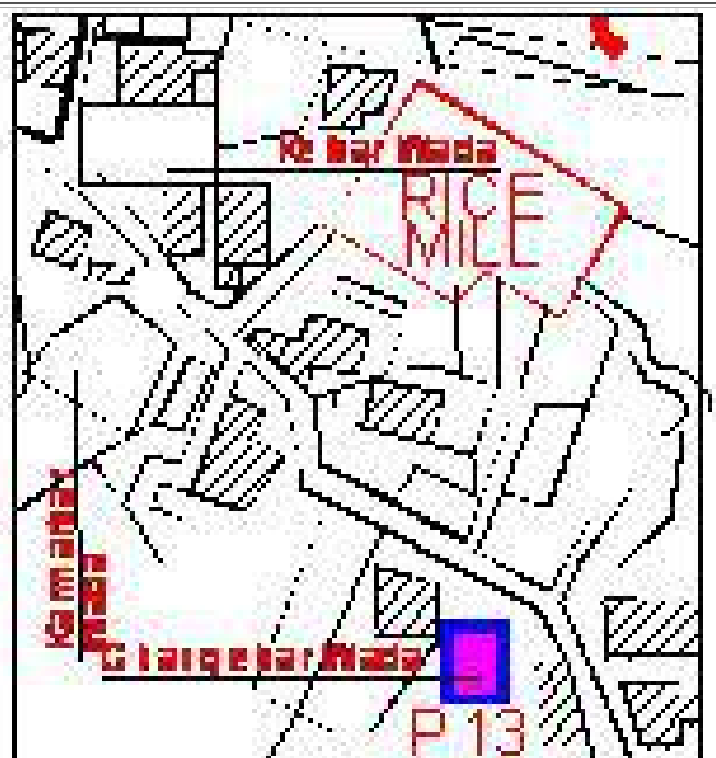


Image Title: Location Plan
Image Type: Top-View
Reference: Location map

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Gosavi Datta Mandir

BASIC DETAIL

1.1	Premise Name	Gosavi Datta Mandir
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	03
	Village	Pen
	Identification	Gosavi Datta Mandir
1.03	Internal Reference Number	
1.04	CS No	1143
1.05	Street Name 1	Ziral Ali
1.06	Street Name 2	
1.07	Area / Locality	Ziral Ali
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Datta Devsthan Trust
1.11	Type of Owner	Private
1.12	Type of Occupancy	Mandir
1.13	Current Use	Mixed Worship and Residence
1.14	Type of Use	Mixed
1.15	Age	@100-125 years
1.16	Plot Area (sq.mt)	1093.7 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	III
1.20	Brief Detail	This is the first Datta Mandir of Pen
1.21	Date of Recording	2010-04-26

HISTORICAL DETAIL

2.01	Built in	early 20 century
2.02	Extensions/ Modifications in	not recorded
2.03	Extensions/ Modifications Details	Minor additions have happened over time but no major ones.
2.04	Earlier Name(s)	Gosavi (Nene) Datta Mandir
2.05	Earlier Use(s)	Religious and Residential

2.06	Historical Significance	The Mandir belongs to Raghunath Waman Nene who worshipped Shri Dutta as his deity was revered as a Gosavi. The Mandir is most probably a conversion of his household shrine as his following must have increased. The datta temple is a private temple located within the wada.
2.07	Cultural Significance	First Datta Mandir of Pen.
2.08	Architectural Significance	An unpretentious Mandir as a very basic example of the enclosed timber Mandap (hall) type. It has evolved from an existing residence to which a Mandap has been added.
2.09	Townscape Significance	Cognitive landmark value in the area.
2.10	Other Significance	NA
2.11	Value Classification	A(cul)
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@17 feet (only the Mandap)		
3.02	No. of Floors	Ground		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber frame and plastered brick walls	Termites to the wood, water seepage in walls	Minor Repair
3.04	Plinth	Basalt Dressed	Uneven settlement	Major Repair
3.05	Walls	Plastered Brick	Cracks, water seepage, discoloration	Minor Repair
3.06	Floors	Mud Plaster with Cow Dung	level of the floor has submerged stone bases of columns	Minor Repair
3.07	Stairs	NA	NA	-
3.08	Openings	Timber frame and panel doors and windows with verticle iron grills. Newly added collapsible MS gate to the external door. Central opening to the room where the deity resides is adorned with a wooden panel partition with coloured glass panels	Warping of timber members	Minor Repair
3.09	Roof	Mangalore tiles on a basic timber truss and unfashioned wooden rafters.	Misalignment of some members	Minor Repair
3.10	Articulation	Coloured glass panels of various types for interior opening to deity's room	NA	Good
3.11	Finishes	Plastered and painted walls and timber. Rafters of roof unfinished.	Discoloration, flaking	Minor Repair
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	Compound wall in brick	NA	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	Well, Two storied House at back, Small Front yard	House also shows ageing and low maintenance	Minor Repair
3.15	Lighting	Natural through doors and windows and large gaps left between walls and roof. Also clearstorey light from between the central and side roof of the mandap	NA	Good
3.16	Ventilation	Natural through openings. Electric fans added later	Haphazard wiring	Minor Repair
3.17	Electricity	Later addition.	Tubelights and their wiring is random and risky	Minor Repair
3.18	Water Supply	Inside house: tap water; Well in back yard	NA	Good
3.19	Plumbing & Drainage	Yes	NA	Good

3.20	Other(Fire protection, HVAC, Security etc)	No provision	NA	Good
3.21	Incongruent Transformation	No major transformation		
3.22	Overall Maintenance Status	The Mandir is modestly built and the people owning it and maintaining it currently also seem to be of modest means. There is a lot to be desired in terms of upkeep and basic requirements.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential
4.02	Overall Problems & Threats	No major threats
4.03	Additional Notes	Originally it belonged to Gosavi (Nene) family which let some part of structure to current owner about 50 years ago, who is maintaining the premises since then. Temple is governed by a trust
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist-Pen

Images



Image Title: location plan
Image Type: Topographic-Map
Reference: location map



Image Title: Gosavi Datta Mandir
Image Type: Top-View
Reference: Interior view looking towards the shrine



Image Title: Gosavi Datta Mandir
Image Type: Front-View
Reference: Coloured glass panels adorn the shrine



Image Title: Gosavi Datta Mandir
Image Type: Top-View
Reference: Timber roof of the sabhagriha



Image Title: Gosavi Datta Mandir
Image Type: Front-View
Reference: Entrance to the temple



Image Title: Gosavi Datta Mandir
Image Type: Front-View
Reference: General view of the temple from the street

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Goteswar Mandir

BASIC DETAIL

1.1	Premise Name	Goteswar Mandir
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Goteswar Mandir
1.03	Internal Reference Number	
1.04	CS No	683
1.05	Street Name 1	Shivaji Path
1.06	Street Name 2	
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Uttamlal Hemchand (Panch Committee)
1.11	Type of Owner	Trust
1.12	Type of Occupancy	Community Ownership
1.13	Current Use	Worship
1.14	Type of Use	Religious
1.15	Age	More than 200 years old.
1.16	Plot Area (sq.mt)	274.2 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	I
1.20	Brief Detail	Old stone Mandir modified over times displaying fine workmanship and features on its plinth and roof. Unique Deepmaals.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	exact year not known. Age can be estimated to around 200-300 years.
2.02	Extensions/ Modifications in	No record available. But there is no major modification apparent.
2.03	Extensions/ Modifications Details	NA
2.04	Earlier Name(s)	Goteswar Mandir
2.05	Earlier Use(s)	Religious

2.06	Historical Significance	This is considered to be the oldest Mandir of Pen and given the style of stone building, it may be arguably so.
2.07	Cultural Significance	It is a Shiva Mandir and considered as a major deity of the town.
2.08	Architectural Significance	It belongs to the most prevalent types of stone temples in Maharashtra in the post Yadav period. This type is characterized by a plan showing two distinct divisions viz the garbhagriha and an open fronted veranda like half mandap. This example is quite large in size as compared to the numerous small variations of the same type. This style of building also suggests the temples age as roughly around three hundred years.
2.09	Townscape Significance	It has a landmark value, both physically and cognitively for the citizens of Pen.
2.10	Other Significance	It is one of the oldest building of the town.
2.11	Value Classification	A(arc),A(his),A(cul)
2.12	Recommended Grade	I

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground		
		Description	Problem/Threat	Condition
3.03	Structural System	Basalt stone loadbearing	Settlement observed in some parts.	Minor Repair
3.04	Plinth	Dressed Basalt stone Masonry	Signs of uneven settlement	Minor Repair
3.05	Walls	Dressed Basalt stone Masonry	Water seepage and weathering of some parts especially near the roof.	Minor Repair
3.06	Floors	Original stone floor replaced with marble	Increased height of the flooring has submerged the column bases and the bases of the Nandi and the tortoise in the Mandap	Minor Repair
3.07	Stairs	Stone steps clad in marble	Level has increased	Minor Repair
3.08	Openings	Verandah with an open front with stone portals now enclosed with garish MS grill	Grills ruins the entire character of the old Mandir. Also the way it is fixed in stone has caused minor damage to the stone.	Minor Repair
3.09	Roof	Stone trabeated construction topped with corbelled dome or flat roof over bays of stone columns. The sanctum sanctorum is capped with a stone dome built on a corbelled octagonal base.	No major problems	Good
3.10	Articulation	Prominent column capitals, entry doors, stone brackets around the building on the underside of the roof, intricately carved band at plinth and cill level on the outer side of the temple. The corner grooves of the columns of the Mandap are enhance their profile. The door to the sanctum sanctorum is adorned by sculpted patterns in stone. White glazed tiles on facing wll of the sanctum sanctorum Relief sculpted Bands on external wall seen all around the Mandirat plinth wall and cornice level.	Weathering of a few features. Also,the plinth articulation is nearly lost in the increased ground level around due to successive pavings.	Minor Repair
3.11	Finishes	Paint over stone seen in layers of successive application at various points in time in different types and colour.	needs to be removed since the type of paint used shuts off the stone pores.	Minor Repair
3.12	Furniture	Beautiful copper tortoise in the Mandap.	partly submerged in the new floor	Minor Repair
3.13	Compound/Fence/Gate	Brick compound wall newly added and shabbily built	disparate with the character of the Mandir	Good

3.14	Curtilage / unbuilt / space /out buildings / landscape	Two tall stone Deepmalas of an uncommon design flanking the entrance of the forecourt. The surroundings of the Mandir have become too tight over time and domestic and other activities from surrounding buildings spill into the Mandir premises. There is a sizeable Ram temple (Rameshwar) abutting the Goteswar temple. It is a typical layout form like the temples of Mahakali or Ganpati Chawadi Naka. The building has a double height mandap with an overlooking first floor. The Garbhagriha has no external spire. A Double lean to roof covers the entire building. Access is from the front yard of Goteswar Temple.	Badly painted. Unsightly electric lamp placed at the apex Encroachment of domestic activities in the open areas. Surrounding Ground Level has risen thereby submerging the original plinth on the southern side immediately.	Minor Repair
3.15	Lighting	Natural through openings. New electrification done inside and outside Mandir.	Cabling in the most insensitive and haphazard manner has played havoc with the ceilings and walls of the Mandir	Minor Repair
3.16	Ventilation	Intended to be natural. New fans fixed with awkward pipes fitted between the ceiling panels.	Ruined the ceiling	Minor Repair
3.17	Electricity	New electrification done inside and outside Mandir. Meter inside mandap PVC pipes all over ceiling	Cabling in the most insensitive and haphazard manner has played havoc with the ceilings and walls of the Mandir.	Minor Repair
3.18	Water Supply	No	NA	-
3.19	Plumbing & Drainage	No	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Paints, electrification, flooring and paving etc are alterations done with good intention but bad planning and technology.		
3.22	Overall Maintenance Status	Good		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Goteswar Mandir Premises on the East.
4.02	Overall Problems & Threats	The Mandir has lost open areas on its sides and has narrowed down its front yard. The development around will sooner or later dwarf the Mandir. Also the surrounding buildings are so close that their unsightliness will mar the character of the Mandir.
4.03	Additional Notes	An important feature of the town it should be guarded as a multipurpose public open space that is scarcely seen in modern development.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture, Cardiff. Harvande Geeta, Pen, Granthali Dnyanyagnya, Mumbai,
	WebSites	NA
	Persons	Mr. Bairagi - Ex Journalist - Pen.

Images



Image Title: Goteswar Mandir

Image Type: Front-View

Reference: The Rameshwar temple adjoining the Goteswar temple



Image Title: Goteswar Mandir

Image Type: Front-View

Reference: Nandi in the verandah of the temple, newly done marble flooring is visible



Image Title: Goteswar Mandir
Image Type: Top-View
Reference: Short brackets of the roof



Image Title: Goteswar Temple
Image Type: Top-View
Reference: Intensive additions done to the old stone construction of the temple



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: View from the Goteswar mandir to the street of the old streetscape framed through its pair of deepmalas



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: Ram mandir abutting the Goteswar mandir



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: Detail of the relief bands on the external face of the temple



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: The front view of the temple with the two deepmalas



Image Title: Goteswar Mandir
 Image Type: Front-View
 Reference: The mandap of the adjoining Rameshwar Temple



Image Title: Goteswar Mandir
 Image Type: Front-View
 Reference: Detail of the relief bands on the external face of the temple



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: Stone ceiling of the mandap



Image Title: Goteswar Mandir
Image Type: Top-View
Reference: Pillar inside the temple



Image Title: Goteswar Mandir
Image Type: Side-View1
Reference: Intricately carved plinth band all around the temple building



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: The deepmalas of the temple seen from the street and suggesting the temples presence.



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: Rear view of the temple

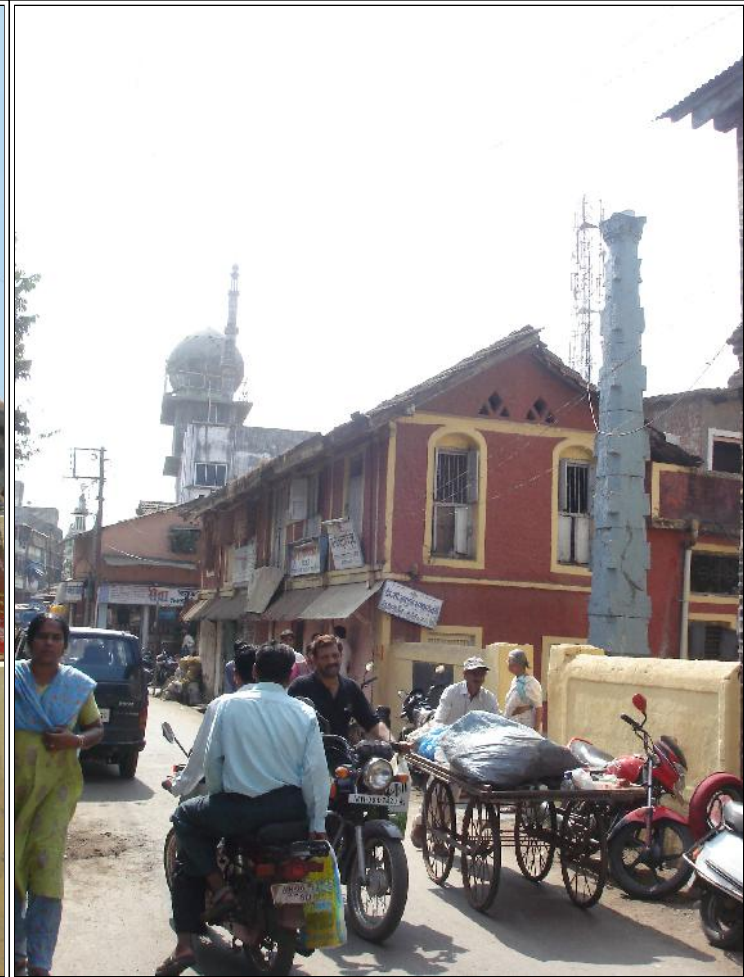


Image Title: Goteswar Mandir
Image Type: Front-View
Reference: General view of the street outside the temple. The deepmaal of the temple is visible.



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: One of the two deepmalas in the front yard of the temple

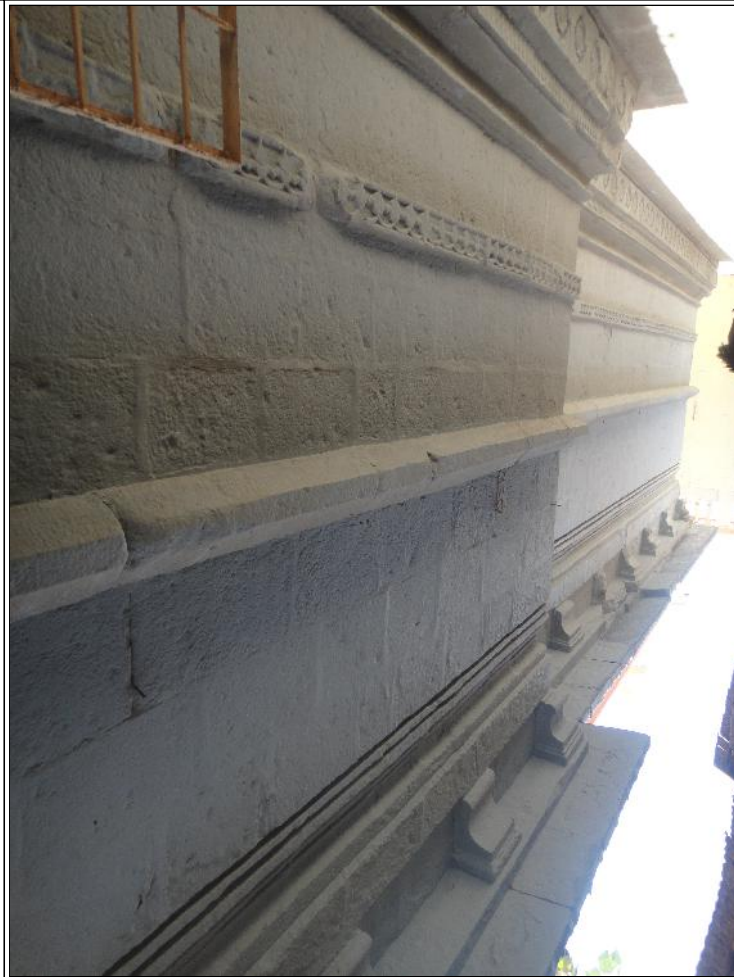


Image Title: Goteswar Mandir
Image Type: Front-View
Reference: The relief bands on the external walls of the Goteswar temple



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: Houses open on the front yard of the temple



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: Interior view of the adjoining Rameshwar Mandir

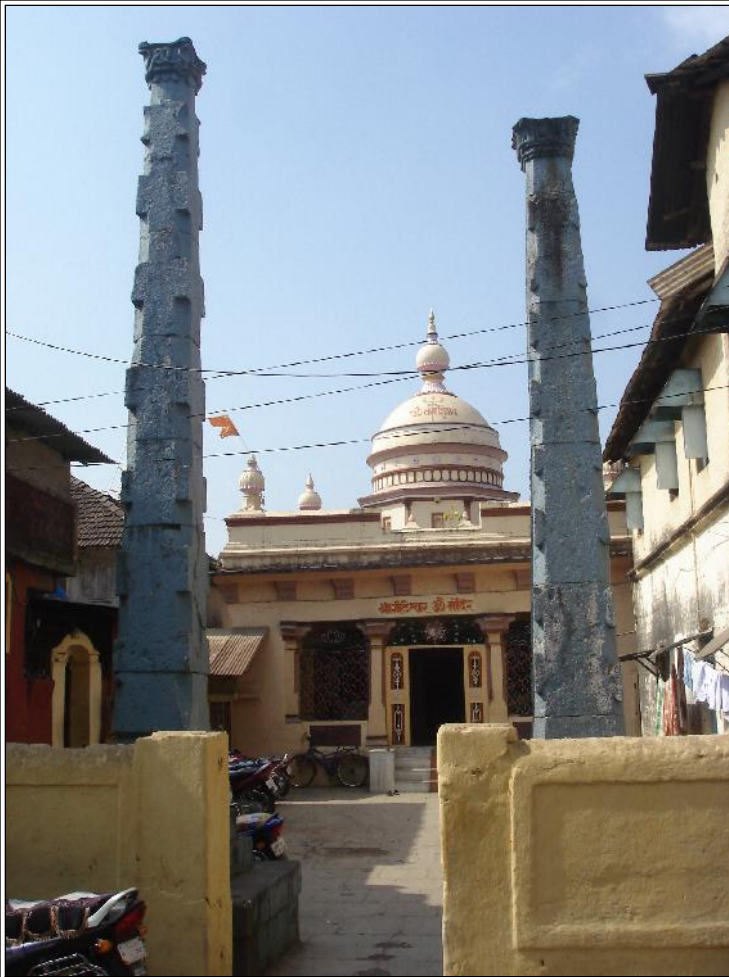


Image Title: Goteswar Mandir
Image Type: Front-View
Reference: View of the temple from the street



Image Title: Goteswar Mandir
Image Type: Top-View
Reference: Trabeated stone structure of the temple the cluster of electrical fixtures and other elements is apparent



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: Residences abutting the temple



Image Title: Goteswar Mandir
Image Type: Front-View
Reference: View of the temple



Image Title: Goteswar Mandir
 Image Type: Front-View
 Reference: Street as seen from the temple front yard



Image Title: Goteswar Mandir
 Image Type: Front-View
 Reference: The stone mandap of the temple



Image Title: Goteswar Mandir
 Image Type: Front-View
 Reference: Newly fit MS grills enclosing the mandap



Image Title: Goteswar Mandir
 Image Type: Front-View
 Reference: A detail of the structural system in stone



Image Title: Location Plan
 Image Type: Topographic-Map
 Reference: Location map

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Hanuman Mandir

BASIC DETAIL

1.1	Premise Name	Hanuman Mandir
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Hanuman Mandir
1.03	Internal Reference Number	
1.04	CS No	686 / 687
1.05	Street Name 1	Shivaji Path
1.06	Street Name 2	
1.07	Area / Locality	
1.08	Nearby landmark if any	Goteshwar Mandir, Pen
1.09	Pin Code	402107
1.10	Current Owner	Uttamlal Hemchand (Panch Committee)
1.11	Type of Owner	Trust
1.12	Type of Occupancy	Community Ownership
1.13	Current Use	Religious
1.14	Type of Use	Amenity
1.15	Age	more than 60-70 Years
1.16	Plot Area (sq.mt)	71.9 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Ruin
1.19	Grade	III
1.20	Brief Detail	Mandir belonging to the local typology of Mandir which is without shikhara and similar to a house in its external appearance. A small shrine with cupola. located inside a larger building built at a later date. As per site visit on 05.05.2013 The Hanuman Mandir is Renovated.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	20th century
2.02	Extensions/ Modifications in	NA
2.03	Extensions/ Modifications Details	NA
2.04	Earlier Name(s)	Hanuman Mandir

2.05	Earlier Use(s)	Worship
2.06	Historical Significance	A good example of a particular type
2.07	Cultural Significance	It is a place of active worship. It is also a place of social gatherings especially during religious celebrations. Historically, Hanuman Mandir served as night shelters for travellers, but this function is no more served with the changing times.
2.08	Architectural Significance	The temple is of a local typology. In this type, the shrine is contained in a hall with a double height and an upper storey overlooking it. The whole building is enclosed in walls and topped by a pitched roof. It has fenestration like that of a house and may even have a balcony on the front. The usual tall spire over the shrine is eliminated.
2.09	Townscape Significance	Landmark due to its function though not due to its architecture.
2.10	Other Significance	NA
2.11	Value Classification	A(Arc), A(Cul), Town
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 1 Upper + Attic		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with loadbearing brick walls. Load bearing walls with tin roof.	NA	Good
3.04	Plinth	Basalt dressed masonry (Khandki)	Uneven settlement	Good
3.05	Walls	Brick masonry plastered and painted. 3 arches in the centre of the building framing the old shrine.	Plaster flaking at some spots	Good
3.06	Floors	Timber, flooring at ground floor replaced by Kota and Granite Tiles. Chequered flooring of Kota and granite tiles. Mezzanine floor on timber joints in front portion of the building	Flaking of Timber members, decay	Good
3.07	Stairs	Stone steps for entry, timber stairs for first floor	Flaking	Good
3.08	Openings	Solid Timber Shutters with grill, solid timber shutters for doors. Panelled, Panel	None	Good
3.09	Roof	Mangalore tiles on Timber Truss. Tin roof on GI Pipes.	Rainwater leakages	Minor Repair
3.10	Articulation	Articulated stone column bases brick arches for Garbhagriha	Structural decay	Ruin
3.11	Finishes	paint and glazed tile dado.	NA	Good
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	No	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	No	NA	-
3.15	Lighting	Natural through Openings / Artificial	NA	Good
3.16	Ventilation	Yes	NA	Good
3.17	Electricity	Light, Fan	NA	Good
3.18	Water Supply	No	NA	-
3.19	Plumbing & Drainage	No	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	No	NA	-
3.21	Incongruent Transformation	All the Building		

3.22	Overall Maintenance Status	Well maintained
3.23	Overall Condition	Ruin

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Public and Semi Public The street abuts the Hanuman Mandir Premises on the North and East.
4.02	Overall Problems & Threats	Structural decay
4.03	Additional Notes	An important feature of the town, it should be guarded as a multipurpose public open space that is scarcely seen in modern development.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architectur
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist - Pen.

Images



Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Original Shrine inside and later the outer building



Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Street as seen from inside the temple



Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Hanuman Mandir
Image Type: Side-View1
Reference: Rotting timber of the temple structure



Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Deity in the temple of Hanuman Mandir



Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Street view of the temple



Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Street view of the temple

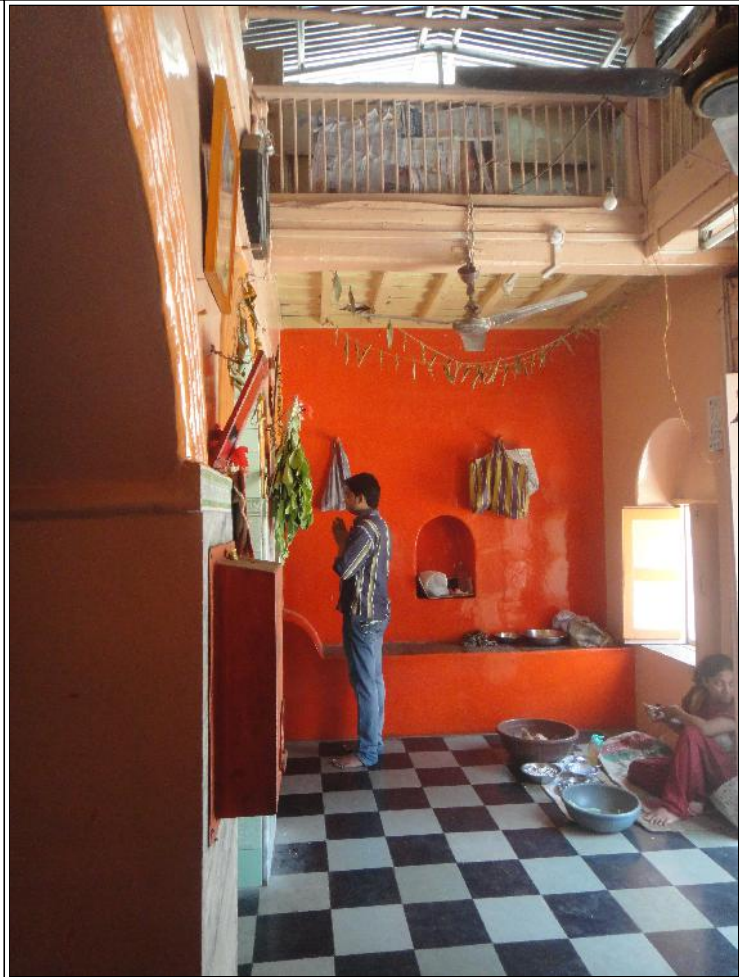


Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Interior view of the temple



Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Hanuman Mandir at the end of the street



Image Title: Hanuman Mandir
Image Type: Front-View
Reference: Internal view of the temple

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Hazare Wada

BASIC DETAIL

1.1	Premise Name	Hazare Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Hazare Wada
1.03	Internal Reference Number	
1.04	CS No	1501 1503 1508
1.05	Street Name 1	
1.06	Street Name 2	Kasar Aali
1.07	Area / Locality	Opp. Subodh Vidyalaya
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Hazare & Aarle family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	@ 100 years
1.16	Plot Area (sq.mt)	337.6 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	III
1.20	Brief Detail	Large house with G+ 1 storeys and of the type with a front balcony and veranda. Typological Significance for the region, Scale
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	Not dated
2.03	Extensions/ Modifications Details	ground floor veranda enclosed with MS grills
2.04	Earlier Name(s)	Hazare Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	NA
2.07	Cultural Significance	A good example of a house at the turn of the 19th century and beginning of the twentieth century when new elements were added to a basic vernacular housing typology.
2.08	Architectural Significance	Belonging to a typology of G+1 houses with a sloping roof and street facade having a gallery on the first and veranda on the ground floor.
2.09	Townscape Significance	As is evident from the new neighbouring building, the town is losing its scale and character which was once defined by houses like this one sitting on a large plot with a garden.
2.10	Other Significance	NA
2.11	Value Classification	A(arc)
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Stone and brick loadbearing walls supporting the first floor and timber roof.	No apparent problem	Good
3.04	Plinth	Basalt square dressed masonry	Slight uneven settlement seen	Minor Repair
3.05	Walls	Main walls load bearing. Minor infill walls of brick	No major problem	Good
3.06	Floors	Vitrified Tiles	Original Shahabad floor replaced	Good
3.07	Stairs	Timber	No major problem	Good
3.08	Openings	Timber panel shutters for doors and windows with verticle iron Grill. Veranda enclosed by new MS grill. Wooden grill with pattern design for balcony.	New grill is incongruent with the original structure.	Minor Repair
3.09	Roof	Mangalore tile roofing on timber rafters and purlins.	Good. Rain water gutter on the front facade added later.	Minor Repair
3.10	Articulation	Pattern of timber gallery on first floor; Door frame of main door emphasized and has niches for oil lamps	Good	Good
3.11	Finishes	Plastered and painted walls. Vitrified tile floor. Wood and ironwork painted	Moss and fungal growth on side wall. Discoloration of external walls due to moisture. Iron and woodwork needs painting.	Minor Repair
3.12	Furniture	Not noteworthy	NA	-
3.13	Compound/Fence/Gate	Brick compound wall with MS gate added later	NA	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	Well at one corner of front garden. The building may have had some side margin on the street side.	Perhaps original plot size is reduced for road.	-
3.15	Lighting	Natural through openings. Now electric lights added.	Minor rerouting of cables needed	Good
3.16	Ventilation	Natural through openings. Now electric fans added.	Minor rerouting of cables needed	Good
3.17	Electricity	Introduced later.	Minor rerouting of cables needed	Minor Repair
3.18	Water Supply	Tap water available now. Well is also used.	NA	Good
3.19	Plumbing & Drainage	PVC rainwater gutter added on the front facade.	Toilet pipes need a little maintenance	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-

3.21	Incongruent Transformation	Paint over stone structure
3.22	Overall Maintenance Status	Good
3.23	Overall Condition	Good

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential, The street abuts the Goteswar Mandir Premises on the East.
4.02	Overall Problems & Threats	Road widening may destroy the well. Street on the side is already touching the building. Any further widening will mean demolition of the structure.
4.03	Additional Notes	The neighbouring building indicates the current trend of selling off individual houses to developers. This is a constant threat to all heritage properties. The new buildings not only disturb the character and scale of the street or neighbourhood but are also bad designs in themselves as far as lifestyles, climate and response to surrounding context is concerned. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images

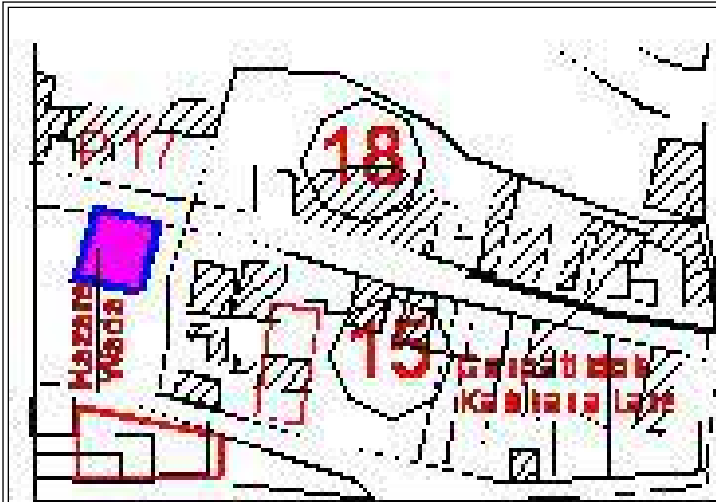


Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location Map



Image Title: Hazare Wada
Image Type: Front-View
Reference: Front facade of the wada from the street



Image Title: Hazare Wada
Image Type: Front-View
Reference: View of the wada from the centre of two streets

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Patil House

BASIC DETAIL

1.1	Premise Name	Patil House
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	06
	Village	Pen
	Identification	Patil House
1.03	Internal Reference Number	
1.04	CS No	274A & 274B
1.05	Street Name 1	
1.06	Street Name 2	Khatik Aali
1.07	Area / Locality	Deendayal Patsanstha
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Patil Family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	more than 75 Years
1.16	Plot Area (sq.mt)	1434.8 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	Deleted
1.20	Brief Detail	A G+1 house with a sloping roof and a balcony on the front. It has typological significance for the region.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	no record
2.03	Extensions/ Modifications Details	No major modifications in the original structure. The ground storey wing may be a later addition.
2.04	Earlier Name(s)	Patil House
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	NA
2.07	Cultural Significance	NA
2.08	Architectural Significance	It is an example of a large G+1 house with a pitched roof and balcony on the front. This is one of the predominant typologies of the region that is fast disappearing now.
2.09	Townscape Significance	Single family residences like these with open space around have become rare today due to demolition and redevelopment of precious urban land that they sit on. Once, these type of houses and footprints defined the character of this town as also of other similar scale towns in the region.
2.10	Other Significance	NA
2.11	Value Classification	A(arc)
2.12	Recommended Grade	Deleted

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with partly loadbearing stone and brick walls	no major problem	Good
3.04	Plinth	Basalt coarsed (Khandki)	Slight uneven settlement seen	Good
3.05	Walls	Stone wall on ground floor till lintel level. Brick wall after that level as also on the first floor. The floors are divided by a wide cornice band. The first floor also has regularly spaced pilasters.	Finishing of walls with bad quality pointing, plaster and paint had reduced in visual quality the overall appearance of the building. Walls do not show and major structural defects though small portions have chipped off, developed cracks or gathered moss.	Minor Repair
3.06	Floors	Timber floor construction. Flooring originally of stone is replaced by tiles and marble.	Timber work shows signs of fatigue. Exposed members of the balcony have badly rotted and decayed.	Minor Repair
3.07	Stairs	Timber stairs	needs minor repairs and maintenance	Minor Repair
3.08	Openings	Timber panel shutter for doors and windows. Windows have double shutters and are divided horizontally into a lower and upper pair operable separately. Window openings are arched and are expressed such on the interiors and exteriors. Lower portion of the windows have cast iron grills.	Window shutters in a bad shape. One is even missing! Need maintenance, especially the grills and stucco work around the windows.	Minor Repair
3.09	Roof	Mangalore tile roofing over timber rafters and purlins	Leakages seen at a few places. Some timbers need replacement.	Minor Repair
3.10	Articulation	Wide cornice band separating the ground and first floors. European style pilasters in stucco on first floor. Cast iron railings to windows.	Cornice broken at places, pilasters cracked and falling, blackening of surface of stucco work due to moss, grills rusting and unpainted.	Minor Repair
3.11	Finishes	Painted walls. Ironwork and wood work may have been painted. Some woodwork may have been oiled instead of painted.	Discolouration of walls, iron work and wood work. Flooring is changed.	Minor Repair
3.12	Furniture	Not noteworthy	NA	-
3.13	Compound/Fence/Gate	Newly built brick wall and gate	NA	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	Parking Shed along the side of the building and the single storey wing	Built in MS pipes and GI sheets, this is a very incongruent addition to the building.	Good
3.15	Lighting	Natural through openings. Electrical lamps introduced later	Wiring needs sensitive routing respecting the features of the building	Good
3.16	Ventilation	Natural through openings, electrical fans introduced later	Wiring needs sensitive routing respecting the features of the building	Good

3.17	Electricity	Introduced later	Wiring needs sensitive routing respecting the features of the building	Good
3.18	Water Supply	Tap water available	NA	Good
3.19	Plumbing & Drainage	Toilets done later	Need minor repair	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Sinage of shops at ground floors. Parking shed on the side		
3.22	Overall Maintenance Status	Needs maintenance		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse-Residential
4.02	Overall Problems & Threats	Needs maintenance without which the building can be fast ruined. Open area around is unused and is open to misuse or incongruent development.
4.03	Additional Notes	Large plots like this one are always susceptible to fall prey to speculative development. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Patil House
Image Type: Front-View
Reference: Detail of door pivot



Image Title: Patil House
Image Type: Front-View
Reference: General view of the house from the street

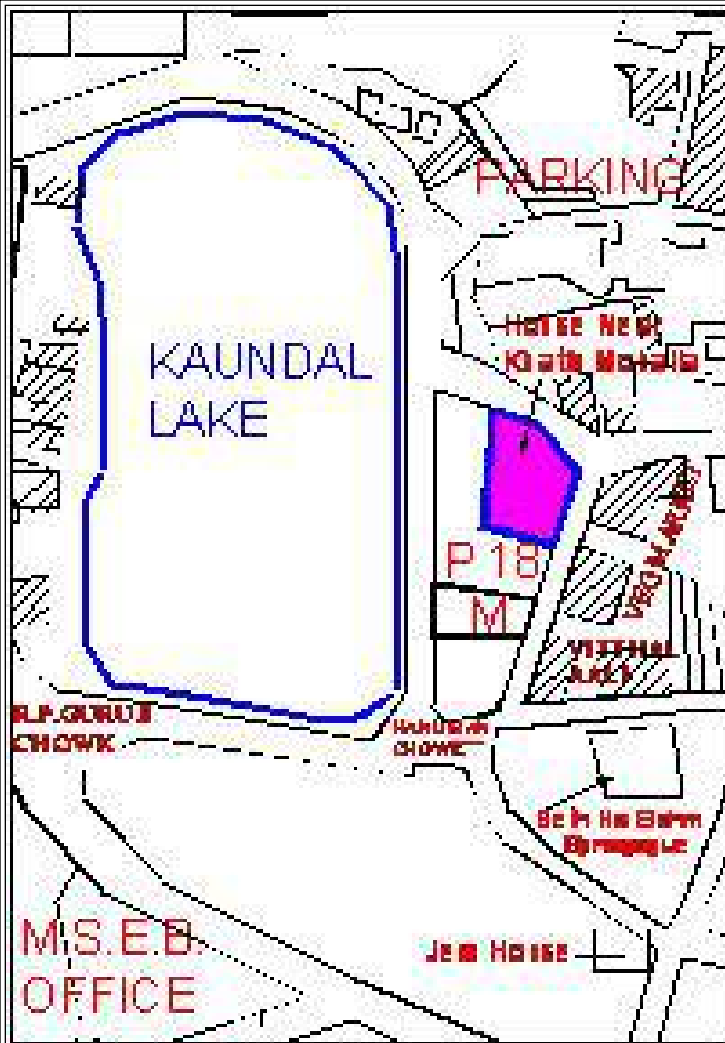


Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location Map



Image Title: Patil House
Image Type: Side-View1
Reference: The lane incongruent neighbour within



Image Title: Patil House
Image Type: Front-View
Reference: Window grill detail from inside



Image Title: Patil House
Image Type: Front-View
Reference: Damaged lime mortar cornice on the exterior of the building. Also seen is the damaged timber of the balcony

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Jari Mari Aai Mandir

BASIC DETAIL

1.1	Premise Name	Jari Mari Aai Mandir
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Jari Mari Aai Mandir
1.03	Internal Reference Number	
1.04	CS No	NA
1.05	Street Name 1	
1.06	Street Name 2	Near Mr. Oak Residence
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	NA
1.11	Type of Owner	Private
1.12	Type of Occupancy	Community Ownership
1.13	Current Use	Worship
1.14	Type of Use	Religious
1.15	Age	Demolished
1.16	Plot Area (sq.mt)	NA
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	-
1.19	Grade	Deleted
1.20	Brief Detail	A folk deity from the town with associational significance. As per site visit on 05.05.2013 The Mandir is Demolished.
1.21	Date of Recording	2010-06-23

HISTORICAL DETAIL

2.01	Built in	around mid 19th century
2.02	Extensions/ Modifications in	not recorded
2.03	Extensions/ Modifications Details	The current room that is supposed to be the Mandir structure may be a later addition to the small shrine that it contains.
2.04	Earlier Name(s)	Jari Mari Aai Mandir
2.05	Earlier Use(s)	Mandir

2.06	Historical Significance	The Mandir seems to be here since long though its location today is very awkward with respect to the surrounding development. For sure, the landscape around it has changed. It is located near the Chawadi Naka that is supposed to be the outer part of the town.
2.07	Cultural Significance	Jari Mari Aai is a folk deity that finds a place in the list of Gods and Goddesses to be worshipped in this region. Jari Mari Aai is supposed to be the guardian of the villagers against the evil of dreaded diseases. Usually, they are housed in small shrines but have festivals associated with them annually that are celebrated with fervor.
2.08	Architectural Significance	The outer large room though old is not the original Mandir. The small shrine inside this room may be an older structure housing the deity. Architecturally, Mandir of these deities are not magnificent or not even sizable. But the importance of these Mandir is more in their cultural relevance than their architectural value.
2.09	Townscape Significance	It signifies the edge of the town at one point in time.
2.10	Other Significance	NA
2.11	Value Classification	A(cul)
2.12	Recommended Grade	Deleted

PHYSICAL CHARACTERISTICS

3.01	Height	3.0 meters. Inner shrine 1 m		
3.02	No. of Floors	Ground		
		Description	Problem/Threat	Condition
3.03	Structural System	Composite of load bearing walls and timber columns. Inner shrine is masonry walls supporting a small domical roof.	Lack of Maintenance	Major Repair
3.04	Plinth	Plastered masonry	Lack of Maintenance	Minor Repair
3.05	Walls	Brick and plaster. One side with the entrance door has only a parapet wall with MS grill above till the eave.	Lack of Maintenance	Minor Repair
3.06	Floors	Cement based marble mosaic tiles	Ok	Good
3.07	Stairs	NA	NA	-
3.08	Openings	Mild Steel grills (1990's). Double leaf wooden plank door.	Lack of Maintenance	Minor Repair
3.09	Roof	Corrugated sheets on timber rafters	Rusted panels	Minor Repair
3.10	Articulation	Wall on the back side of the shrine has niches. Otherwise the building is a very basic functional structure. Inner shrine has arched openings, cornice at the top of the walls and a finial on the dome.	Inner shrine is well maintained.	Good
3.11	Finishes	Inner shrine is painted in oil paint. Outer shrine too is painted.	Discolouration. Some parts not painted at all.	Minor Repair
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	NA	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Located on a small mound	No defined plot for temple	-
3.15	Lighting	Natural light through the open wall. Electric bulb.	Basic electrification without much planning.	-
3.16	Ventilation	Adequate through the grilled open wall.	NA	-
3.17	Electricity	Basic electrification done for lighting	Not much planning done.	Minor Repair
3.18	Water Supply	NA	NA	-
3.19	Plumbing & Drainage	NA	NA	-

3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	The structure is very basic and built with whatever resources are available. It has a very transient character about it.		
3.22	Overall Maintenance Status	Maintained by Satyam Mitramandal. The maintenance seems to be very inadequate probably due to lack of funds Demolished (Survey May 2013)		
3.23	Overall Condition	-		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential, The street abuts the Jari Mari Aai Mandir, Premises on the North.
4.02	Overall Problems & Threats	Lack of funds for maintenance seems to be an immediate threat.
4.03	Additional Notes	NA
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Jari Mari Aai Mandir
Image Type: Front-View
Reference: Original shrine how housed in an enclosure



Image Title: Jari Mari Aai Mandir
Image Type: Front-View
Reference: General view of the temple from the street



Image Title: Jari Mari Aai Mandir
Image Type: Front-View
Reference: Detail of the original shrine and deity



Image Title: Jari Mari Aai Mandir
Image Type: Front-View
Reference: Demolished temple of Jari Mari Aai



Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location Map

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Patwardhan House

BASIC DETAIL

1.1	Premise Name	Patwardhan House
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	08
	Village	Pen
	Identification	Patwardhan House
1.03	Internal Reference Number	
1.04	CS No	530
1.05	Street Name 1	Lal Bahadur Shastri Marg
1.06	Street Name 2	Bajar Peth
1.07	Area / Locality	
1.08	Nearby landmark if any	Synagogue, Pen
1.09	Pin Code	402107
1.10	Current Owner	Amrutilal Jain
1.11	Type of Owner	Private
1.12	Type of Occupancy	Partly Leased / Rented
1.13	Current Use	Mixed use Residential and Commercial
1.14	Type of Use	Mixed
1.15	Age	more than 200 Years
1.16	Plot Area (sq.mt)	240.8 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	Deleted
1.20	Brief Detail	A large property standing in the market lane. The architectural embellishments indicate a former richness.
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	Late 19th Century
2.02	Extensions/ Modifications in	No record
2.03	Extensions/ Modifications Details	Area of the shops is modified. A lot of internal changes have taken place as well as there is a change of use.
2.04	Earlier Name(s)	Jew House
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	The Jew community must have once been a thriving community here. There is a handsome Synagogue nearby. The Jews were locally called Shanwar Telis or oil manufacturers as per their occupation. The Jew population has dwindled to almost a negligible number now.
2.07	Cultural Significance	The building is a reminder of the once thriving community of the Jews that has now dwindled to negligible numbers in the region.
2.08	Architectural Significance	It is a handsome building with large arched windows on the first floor and pilasters, window borders and capitals with stucco ornament recalling a general European feel.
2.09	Townscape Significance	It is a large and prominent building on the market street with a volume and mass similar to those of other buildings of its time but different in treatment and detail indicating the preference of the community it belonged to .
2.10	Other Significance	A large structure with potential for civic uses
2.11	Value Classification	A(arc), other
2.12	Recommended Grade	Deleted

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Loadbearing brick walls	No major problem	Good
3.04	Plinth	Basalt fine dressed masonry	Slight uneven settlement seen.	Minor Repair
3.05	Walls	Brick plastered walls	Cracks at some places. Plaster damaged at a few places. Lot of moisture seepage seen at many places	Minor Repair
3.06	Floors	Original floor replaced by Shahabad stone floor	Floor damaged at certain points	Major Repair
3.07	Stairs	Timber stairs	Cracking and bending of supports	Major Repair
3.08	Openings	Panel timber shutters	Missing on the front facade first floor windows	Minor Repair
3.09	Roof	Mangalore tile roofing over timber rafters and purlins	Leakages at places	Minor Repair
3.10	Articulation	Stucco work around windows, columns, column bases and capitals.	Damage due to seepage.	Minor Repair
3.11	Finishes	Plastered and white washed	Needs major maintenance. Lot of seepage and resulting moss growth.	Major Repair
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	NA	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Hardly any. The building sits on a dense street. Even the side margin has been taken over by an external staircase. Shops on ground floor also extend on the front open space of the road.	Encroachment	Minor Repair
3.15	Lighting	Natural Through Openings. Haphazard and risky electrical lines seen.	Electrification is done randomly and in a risky way.	Minor Repair
3.16	Ventilation	Natural Through Openings.	Shutters of windows missing	Minor Repair
3.17	Electricity	Yes	Electrification is done randomly and in a risky way.	Good
3.18	Water Supply	Tap water	NA	-
3.19	Plumbing & Drainage	Yes	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-

3.21	Incongruent Transformation	Awnings and signage of shops at ground floors as well as their spread on the front open area of the road.
3.22	Overall Maintenance Status	Poor. Needs maintenance.
3.23	Overall Condition	Major Repair

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential
4.02	Overall Problems & Threats	Except for the shops on the ground floor that seem to be running well but marring the appearance of the building, there is apparently no effective occupancy of the first floor. The building seems neglected and deteriorating.
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad.</p> <p>Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990.</p> <p>Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973.</p> <p>Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947.</p> <p>Dabu D G Kulabkar Angre Sarkhel.</p> <p>Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974.</p> <p>Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture</p>
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images

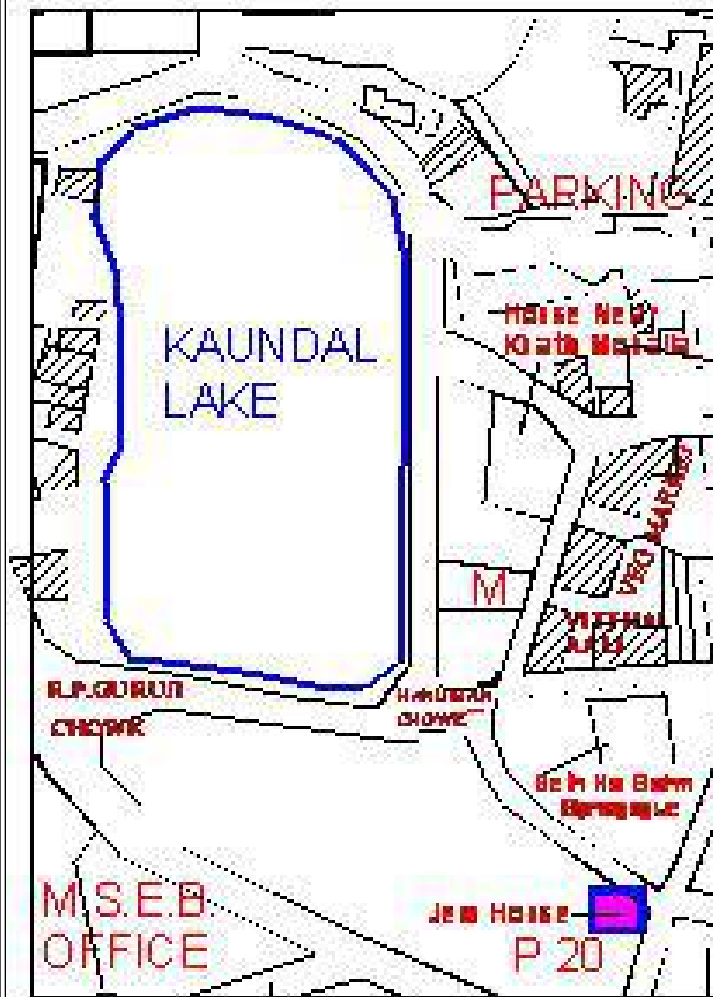


Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Patwardhan House
Image Type: Front-View
Reference: First floor windows framed by lime stucco work on the street facade of the house



Image Title: Patwardhan House

Image Type: Side-View1

Reference: Narrow side lane with stairs leading to the house

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Karmarkar Wada

BASIC DETAIL

1.1	Premise Name	Karmarkar Wada
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	12
	Village	Pen
	Identification	Karmarkar Wada
1.03	Internal Reference Number	
1.04	CS No	2049 2050
1.05	Street Name 1	
1.06	Street Name 2	Datar Aali
1.07	Area / Locality	Ghangrekar Wada
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Sarlabai Vinayak Karmarkar
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	more than 200 Years
1.16	Plot Area (sq.mt)	220.7 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	Deleted
1.20	Brief Detail	Typological significance for the region, Scale
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	19th Century
2.02	Extensions/ Modifications in	No record
2.03	Extensions/ Modifications Details	Front veranda enclosed
2.04	Earlier Name(s)	Karmarkar Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	This house is part of a historic residential neighbourhood mostly of upper class Brahmins.
2.07	Cultural Significance	NA
2.08	Architectural Significance	Example of a Typology of a G+1 house with a pitched roof and veranda on the street front.
2.09	Townscape Significance	Part of Datar Ali so has a group value. Lends character to the entire area along with other similar or houses contemporary to it.
2.10	Other Significance	NA
2.11	Value Classification	A(arc)., Town.
2.12	Recommended Grade	Deleted

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber structure on stone plinth with part load bearing brick walls	Timber columns show signs of fatigue. Walls also show ageing though there is no apparently major structural problem.	Good
3.04	Plinth	Basalt stone dressed. The entire front yard of the house is also retained by a stone wall towards the street edge and filled up to one step below the plinth.	retaining wall of the front yard needs some minor repairs.	Minor Repair
3.05	Walls	Partly load bearing brick walls plastered with mud and lime on the ground floor and externally unplastered on the first floor. Plastered surfaces are painted.	Needs maintenance shows sign of uneven settlement. Plaster shows growth of moss due to seepage of moisture. Discoloration.	Minor Repair
3.06	Floors	Timber beams and joists support a mud and brick filled first floor, shahabad stone flooring for ground floor	Needs maintenance. Timber members show buckling at places.	Minor Repair
3.07	Stairs	Timber staircase	Cracks and sagging in timber members.	Major Repair
3.08	Openings	Timber plank shutters to tall windows on the first floor. Each window has an upper and a lower pair of shutters. Ground floor has an veranda that is enclosed at a later date with panel windows and iron bar grills.	Cracks seen at corners and junctions of timber and brick have opened up.	Minor Repair
3.09	Roof	Manglore tiles over timber rafters	minor repairs needed. broken tiles need replacement	Minor Repair
3.10	Articulation	Minimal Articulation. Stone bases/ stools for timber columns.	weathering of the entire building	Minor Repair
3.11	Finishes	Minimal articulation -painted walls for ground floor. Exposed brick walls for Upper Floor	Brick joints are loose. Ends have chipped. Moss growth due to seepage and moisture in walls. Discoloration.	Minor Repair
3.12	Furniture	not noteworthy	NA	-
3.13	Compound/Fence/Gate	coursed rubble dry masonry used as compound cum retaining wall on street edge.	needs minor repair	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	well, front yard, small garden, WC block at the rear of the house	ok	Good
3.15	Lighting	Natural; Artificial introduced now in the form of electric tubes and bulbs	Wiring is surface wiring and needs to be more safely and sensitively done	Minor Repair
3.16	Ventilation	Natural through veranda and tall first floor windows. Now artificial with electric fans. 1	Wiring is surface wiring and needs to be more safely and sensitively done	Minor Repair
3.17	Electricity	Yes. Introduced later.	Wiring is surface wiring and needs to be more safely and sensitively done	Minor Repair

3.18	Water Supply	Well and now tap water	NA	Good
3.19	Plumbing & Drainage	Kitchen has a drain. WC is built separately from the house in the back yard and is connected to a septic tank.	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	No	NA	-
3.21	Incongruent Transformation	Padi enclosed		
3.22	Overall Maintenance Status	Average needs minor repairs and regular maintenance.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential		
4.02	Overall Problems & Threats	Structural decay for timber members. Lack of adequate maintenance. Some similar buildings around this house have been demolished to make way for new apartment buildings that are a complete contrast in character and sensibility of this area and region. Various factors such as costly upkeep of such structures, decreasing family size, attractive returns on sale of property etc are encouraging more and more owners to sell of their historic houses to developers. This is a major threat.		
4.03	Additional Notes	Any road widening attempt would mean destroying the retained forecourt of the house. This would be a major loss of character to the house. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.		
4.04	References			
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,		
	WebSites	NA		
	Persons	Mr. Bairagi, Ex-Journalist Pen		

Images



Image Title: Karmarkar Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: Karmarkar Wada
Image Type: Front-View
Reference: General View of the house from street



Image Title: Karmarkar Wada
Image Type: Front-View
Reference: Weathered timber frame cracked joints

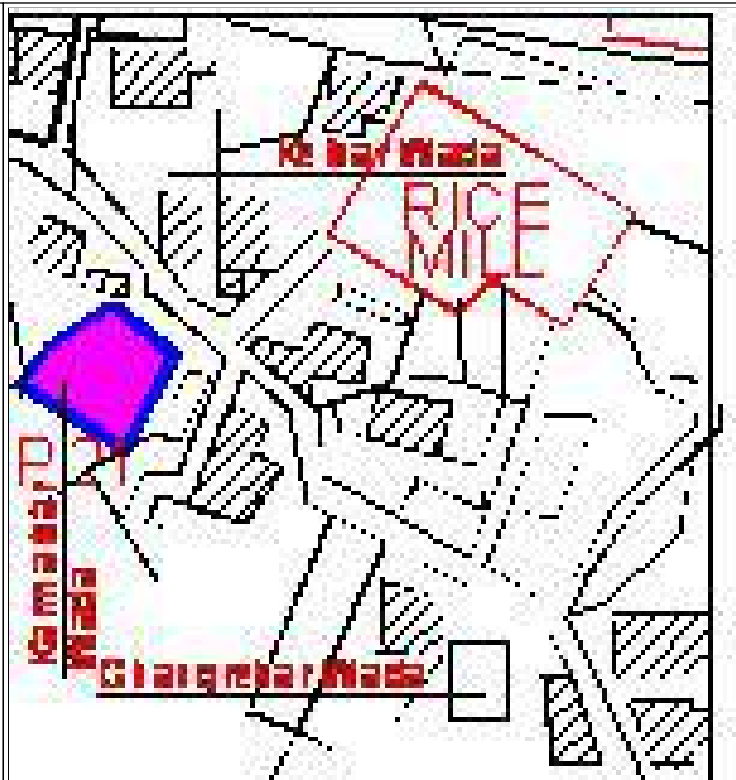


Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location Map

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Kasar Tale

BASIC DETAIL

1.1	Premise Name	Kasar Tale
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	12
	Village	Pen
	Identification	Kasar Tale
1.03	Internal Reference Number	
1.04	CS No	NA
1.05	Street Name 1	Datar Aali
1.06	Street Name 2	Borgaon Road
1.07	Area / Locality	Datar Aali
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	NA
1.11	Type of Owner	Local Govt.
1.12	Type of Occupancy	Lake
1.13	Current Use	Lake
1.14	Type of Use	Amenity
1.15	Age	approx. 300 years
1.16	Plot Area (sq.mt)	About six acres
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IE
1.20	Brief Detail	Natural Resource of water in a water scarcity zone
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	Approx. 1627.
2.02	Extensions/ Modifications in	late 20th century
2.03	Extensions/ Modifications Details	Mandir in the water, retaining wall, compound railings and footpath around the lake, toy train added at the lake
2.04	Earlier Name(s)	Kasar Tale
2.05	Earlier Use(s)	Tale

2.06	Historical Significance	Kasar lake is supposed to have been dug by the famous Nizamshahi prime minister Malik Ambar.
2.07	Cultural Significance	New Mandir present in middle, tale has an active waterfront with seating and small religious shrines.
2.08	Architectural Significance	Major Architectural Urban Design & planning reference for a useful public space useful.
2.09	Townscape Significance	Important Landmark, Waterfront of the town used for cultural, recreational and religious activities.
2.10	Other Significance	Ecologically important
2.11	Value Classification	A(cul), Town, Env.
2.12	Recommended Grade	IE

PHYSICAL CHARACTERISTICS

3.01	Height	depth of more than 9m, exact depth not known		
3.02	No. of Floors	NA		
		Description	Problem/Threat	Condition
3.03	Structural System	It is a natural lake with natural strata. Surrounding retaining wall made up of random rubble masonry	Structural dilapidation - signs of uneven settlement. Caving of wall at some spots	Minor Repair
3.04	Plinth	NA	NA	Good
3.05	Walls	Random rubble masonry wall around the lake	Structural dilapidation - signs of uneven settlement. Caving of wall at some spots	Minor Repair
3.06	Floors	NA	NA	-
3.07	Stairs	ramps leading to water, steps in random rubble with paving blocks near temple	need maintenance	Good
3.08	Openings	There are three access points to the water	The steps near the temple now have a wall built at their entrance closing any access from there	Minor Repair
3.09	Roof	NA	NA	-
3.10	Articulation	NA	NA	-
3.11	Finishes	NA	NA	-
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	M.S railing over boundry wall	Fallen where wall has caved in.	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	small shrines at periphery, trees of religious significance (banyan)	need protection Sensitive development keeping the serenity of the lake intact. A toy electric train is newly added	Good
3.15	Lighting	yes artificial lighting available around the periphery for the footpath	NA	Good
3.16	Ventilation	NA	NA	-
3.17	Electricity	Electrical lines for neighbouring area.	would be better underground to preserve the visual serenity of the natural surroundings	Minor Repair
3.18	Water Supply	Surface drainoff, natural springs and rainwater	Compound wall has stopped surface water from coming to the lake to a large extent thus cutting one of the lake's vital supply source.	-
3.19	Plumbing & Drainage	There is an overflow system in place	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	The surrounding beautification is questionable for its aesthetic quality as well as contextuality. This includes the Mandir in the water with its supporting structures, retaining wall, railings, paving, etc.		
3.22	Overall Maintenance Status	Maintenance level is average, no structural maintaince, maintained by the Municipality		

3.23	Overall Condition	Minor Repair
------	--------------------------	--------------

RELEVANT DETAILS

4.01	D P Remarks	Landuse-Waterbody
4.02	Overall Problems & Threats	Some structural damage to the retaining wall. Encroachment and development around the pedestrian footpath and recreation zone. Fancy development similar to the Mandir in the water.
4.03	Additional Notes	<p>The lake is a valuable natural resource and should be preserved such. Careful and minimally invasive development around the resource can be made for public recreation. Cleanliness of the water and its banks as also of its catchment is of utmost importance.</p> <p>Water bodies in town are a very valuable resources. They serve many purposes like being an urban open space, green area, recreation area, spot for a micro ecosystem etc. other than supplying the much needed water.</p> <p>Water bodies therefore should be fiercely guarded against potential risks of water pollution, abuse of card around them, destruction of components of the ecosystem, unsympathetic and unaesthetic uses and modifications as also getting filled up for land reclamation.</p>
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad.</p> <p>Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990.</p> <p>Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973.</p> <p>Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947.</p> <p>Dabu D G Kulabkar Angre Sarkhel.</p> <p>Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974.</p> <p>Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Kasar Tale
Image Type: Front-View
Reference: Seating space developed along the new side walk

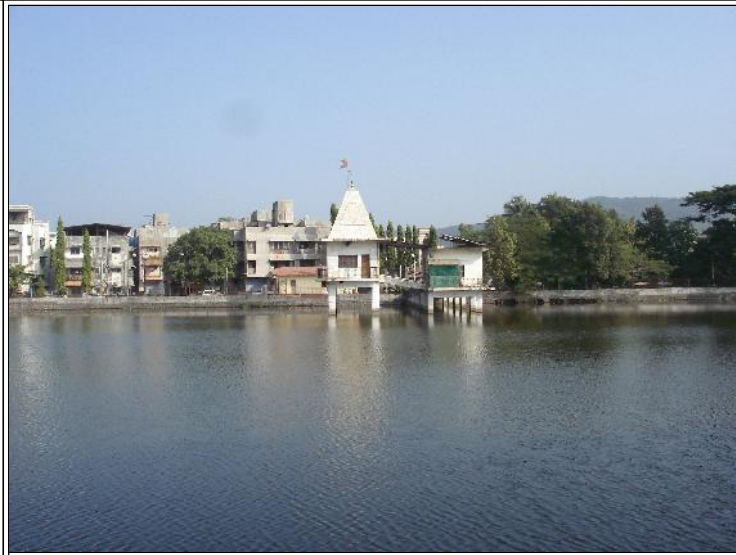


Image Title: Kasar Tale
Image Type: Front-View
Reference: General view of the kasar lake and the changing style of the town



Image Title: Kasar Tale
Image Type: Front-View
Reference: Arial View of the lake



Image Title: Kasar Tale
Image Type: Front-View
Reference: View of the new side walk



Image Title: Kasar Tale
Image Type: Front-View
Reference: The newly developed sidewalk along the lake



Image Title: Kasar Tale
Image Type: Front-View
Reference: The newly built temple inside the Kasar Lake



Image Title: Kasar Tale
Image Type: Side-View1
Reference: The centre in the hot months



Image Title: Kasar Tale
Image Type: Front-View
Reference: The new toy train tracks laid along the lake



Image Title: Kasar Tale
Image Type: Front-View
Reference: Old trees along the banks of the Lake



Image Title: Kasar Tale
Image Type: Front-View
Reference: Desrepair of the new sidewalk



Image Title: Kasar Tale
Image Type: Side-View1
Reference: The lake when full of water

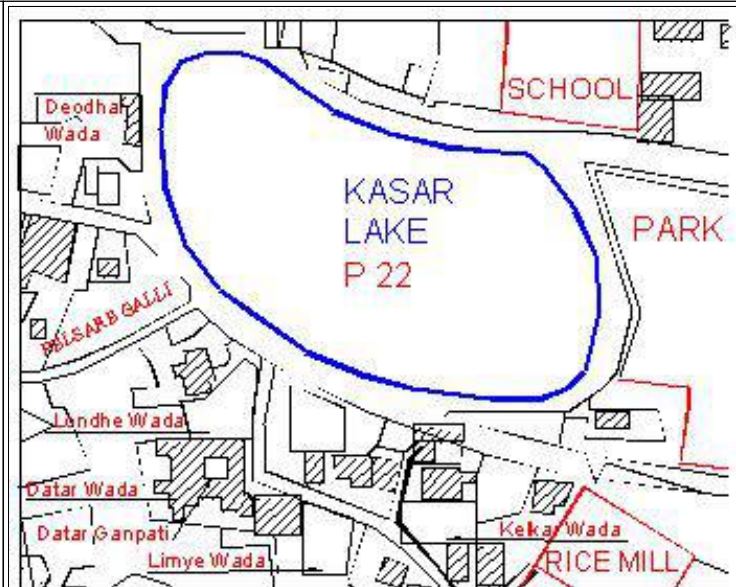


Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Kasar Tale
 Image Type: Front-View
 Reference: General view of the Kasar lake with the temple in its water



Image Title: Kasar Tale
 Image Type: Side-View2
 Reference: View of the lake from the new sidewalk



Image Title: Kasar Tale
 Image Type: Front-View
 Reference: View of the old remains along the sidewall

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Kelkar wada

BASIC DETAIL

1.1	Premise Name	Kelkar wada
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	12
	Village	Pen
	Identification	Kelkar wada
1.03	Internal Reference Number	
1.04	CS No	2010
1.05	Street Name 1	Ghangrekar Marg
1.06	Street Name 2	Datar Aali
1.07	Area / Locality	Limaye Wada
1.08	Nearby landmark if any	Near Kasar Lake, Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Kelkar, Mr. Chiplunkar and Mr. Kulkarni
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Used as Store and Residence
1.14	Type of Use	Residential
1.15	Age	About 100 years old
1.16	Plot Area (sq.mt)	451.5 Sq.Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	III
1.20	Brief Detail	Medium size residence G+1 storeys with balcony on one side. Typological significance with variation in façade design.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	No record
2.03	Extensions/ Modifications Details	No major modification to the structure.
2.04	Earlier Name(s)	Kelkar Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	Datar Ali is a residential neighbourhood with many historic buildings and a low rise character. It also has a lot of open space associated with the buildings. The neighbourhood is predominantly upper caste Brahmins who were once influential and wealthy.
2.07	Cultural Significance	Predominantly upper caste Brahmin neighbourhood with similar house type but variation in appointment as per individual wealth, taste and period of construction.
2.08	Architectural Significance	About 100 years old building with stucco work to ornament columns, openings etc. The surviving building may only be a part of a much larger house, but traces of any other older building do not remain.
2.09	Townscape Significance	Part of Datar Ali which is a predominantly residential neighbourhood with ground storey or G+1 houses and gardens around them.
2.10	Other Significance	NA
2.11	Value Classification	A(arc), Town
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	@24 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper+ 1/2 attic		
		Description	Problem/Threat	Condition
3.03	Structural System	Load bearing brick masonry walls, timber floor and roofing over timber rafters and purlins	No apparent structural problems	Minor Repair
3.04	Plinth	Basalt squared and dressed	NA	Good
3.05	Walls	Brick walls plastered and painted	Bad state of repair, plaster has fallen off, blackening of plaster due to moss and fungal growth on moist patches, vegetation growth in places, cracking near openings.	Major Repair
3.06	Floors	Timber Floor	Timber members shows sign of bending and flaking. Balcony shows dilapidation. Balcony added on the rear side	Major Repair
3.07	Stairs	Timber stairs	In dilapidated state	Major Repair
3.08	Openings	Timber panel shutters for doors and windows. Balcony on the opposite side of the street facade. Full height windows with parapet level iron grill on street side.	Cracks in walls around openings, especially at the lintel, plaster at cills and jambs broken, woodwork needs maintenance and refixing of hardware and window and grill added	Minor Repair
3.09	Roof	Mangalore tiles on timber rafters	Needs realignment and relaying especially at edges.	Minor Repair
3.10	Articulation	The walls of both ground and first floor has regularly spaced pilasters forming equal bays of walls between them. The pilasters have a lime stucco ornament of bases, shafts and capital in a colonial looking style. Both ground and first floor have a deep and wide cornice at the top of the pilaster capitals. Pilasters and cornice run even on the side of the building. Gable end has stucco Motif.	Plaster of the features has cracked and chipped off, there is vegetation growth and moss growth especially on the cornice. Touch up of plaster and painting done	Minor Repair
3.11	Finishes	Plastered walls are painted. Stone tile flooring.	Plaster has fallen off at a lot of places, edges have chipped off, the gable end facades have blackened due to moss growth, colour has faded and weathered.	Minor Repair
3.12	Furniture	not noteworthy	NA	-
3.13	Compound/Fence/Gate	New compound wall and gate	Not in the best of conditions	Minor Repair
3.14	Curtilage / unbuilt / space / out buildings / landscape	Open space behind the house.	The back yard must have been larger than what is left today. The new building behind this one may be constructed on the yard belonging to this building once.	Good

3.15	Lighting	Natural through windows, especially on the first floor through the full height windows. The ground floor has its street side mostly solid and draws light from the opposite side. Now electric lights are also used.	Badly made window on the street side ground floor facade- perhaps a later insertion.	Good
3.16	Ventilation	Natural through windows. First floor full height windows have two sets of shutters facilitating control of light ventilation and view effectively and selectively. Now, electric fans are also used. Attic has small openings on the gable end.	Wiring needs relaying.	Minor Repair
3.17	Electricity	Yes. Introduced later.	Wiring needs relaying.	Minor Repair
3.18	Water Supply	Yes. Tap water available.	NA	Good
3.19	Plumbing & Drainage	The building does not have an inbuilt toilet. In the old times, toilet must have been a separate structure in the back yard.	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	It is a neglected building currently being used as a storage space.		
3.22	Overall Maintenance Status	Does not look maintained at all. Since it is not used as a residence anymore, the building might be left to deteriorate.		
3.23	Overall Condition	Major Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Kelkar Wada Premises on the South and West.
4.02	Overall Problems & Threats	Utter neglect of the building may soon result in a ruin.
4.03	Additional Notes	Currently used as store, plumbing services added in later years, owners live in house nearby Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Kelkar Wada
Image Type: Front-View
Reference: Detail of the Gable End



Image Title: Kelkar Wada
Image Type: Front-View
Reference: Entry to the Kelkar Wada



Image Title: Kelkar Wada
Image Type: Side-View2
Reference: Overgrowth, Dampness, destruction of details are some of the problems of the building



Image Title: Kelkar Wada
Image Type: Front-View
Reference: Close up of the building facade



Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location Map



Image Title: Kelkar Wada
Image Type: Side-View1
Reference: Moss growth on plaster cracking and peeling off of the plaster is apparant or the external surface



Image Title: Kelkar Wada

Image Type: Side-View1

Reference: Moss growth on plaster cracking and peeling off of the plaster is apparant or the external surface

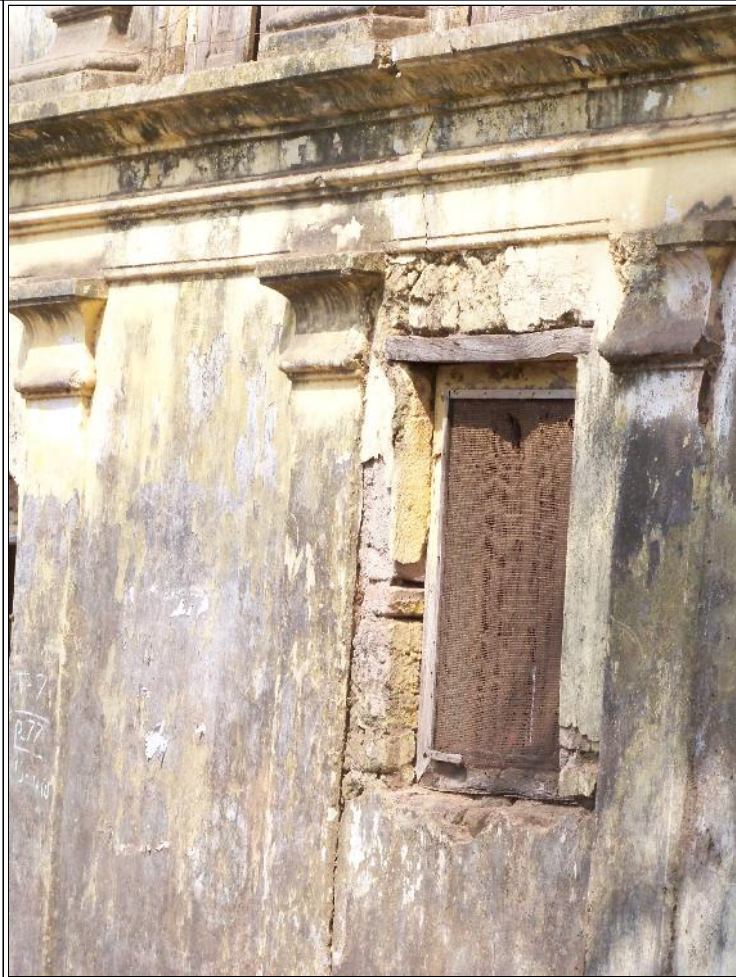


Image Title: Kelkar Wada

Image Type: Front-View

Reference: Windows in bad stage



Image Title: Kelkar Wada

Image Type: Front-View

Reference: Street View of the Kelkar Wada

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Kolhatkar Wada

BASIC DETAIL

1.1	Premise Name	Kolhatkar Wada
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Kolhatkar Wada
1.03	Internal Reference Number	
1.04	CS No	95/97/98
1.05	Street Name 1	Shivaji Path
1.06	Street Name 2	
1.07	Area / Locality	Dev Aali
1.08	Nearby landmark if any	Near Ambika Mandir, Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Kolhatkar, Mr. Athawale and family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Partly Leased / Rented
1.13	Current Use	Mixed use with Residential and government office
1.14	Type of Use	Mixed
1.15	Age	150 Years old
1.16	Plot Area (sq.mt)	3893.1 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	IIB
1.20	Brief Detail	It is a large house sitting on a large plot. It is a good example of a town house of a well to do family of a century and half ago.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	150 years old house
2.02	Extensions/ Modifications in	not recorded
2.03	Extensions/ Modifications Details	two wings flanking the courtyard were demolished
2.04	Earlier Name(s)	Kolhatkar Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	House of a wealthy merchant's family settled in Pen. Kolhatkar Family is related to Peshwa Rulers of Pune. This family was active in Maratha confederacy and also in independence struggle. Original wada was burned in fire and this structure replaced it about 150 years ago.
2.07	Cultural Significance	It is designed and built for a Brahmin family and therefore displays all characteristics of a house thought socially and culturally appropriate for the community.
2.08	Architectural Significance	About 150 years old house. This house is an example of a large residence of a wealthy family along with peripheral buildings, a garden and a well. It portrays the style in vogue at the time it was built and displays complete features that find a reflection in the local building vocabulary.
2.09	Townscape Significance	Well known house in the town. Minor landmark value. Its value is also in the type of a garden house that it represents. This type has become rare with urbanization and densification of Pen and hence qualifies for protection.
2.10	Other Significance	NA
2.11	Value Classification	A(arc),A(cul)
2.12	Recommended Grade	IIB

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper + 1/2		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with loadbearing brick walls.	Structural stability needs to be checked though there is no apparent sign of distress	Good
3.04	Plinth	Dressed basalt stone	NA	Good
3.05	Walls	Brick masonry, lime plastered and painted	Plaster is flaking at places due to water seepage/ weathering	Minor Repair
3.06	Floors	Timber floor supported on composite structure of timber columns and load bearing brick walls	No apparent threat	Good
3.07	Stairs	Timber	NA	Good
3.08	Openings	Timber panel shutters: Double shutters to full height windows on the first floor. Iron round bars for grills. Grills and walls of the ground floor front veranda are a later addition	Some window shutters need hardware change and repair	Minor Repair
3.09	Roof	Mangalore tiles on timber truss and rafters	NA	Good
3.10	Articulation	Minimal only at door frames	NA	Good
3.11	Finishes	Painted plaster and woodwork	Minor discoloration in parts	Minor Repair
3.12	Furniture	Built in cupboards in walls	NA	Good
3.13	Compound/Fence/ Gate	Vaulted gateway	Gate needs repair and maintenance	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	Large garden around the house, Ganesh mandir, Well, common toilets and store as ancillary buildings within the compound	Well needs up keep	Good
3.15	Lighting	Natural through doors and windows. Provision of fanlights on first floor windows. Double shutters to tall windows allow for control of light and ventilation	NA	Good
3.16	Ventilation	Windows with double shutters, ground floor veranda,	NA	Good
3.17	Electricity	Introduced later	Wiring can be better designed	Minor Repair
3.18	Water Supply	Now tap water, well in olden times	NA	Good
3.19	Plumbing & Drainage	Now introduces in the house. Public WCs removed from the main house still in use	Needs some maintenance	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-

3.21	Incongruent Transformation	No major incongruency although the veranda on the ground floor would have better been open in keeping with the original design.
3.22	Overall Maintenance Status	Good
3.23	Overall Condition	Good

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Kolhatkar Wada Premises on the West.
4.02	Overall Problems & Threats	With property prices in the town going up, there is a definite threat of the property being sold for real estate development especially because it sits on a large piece of land that is rare in the town.
4.03	Additional Notes	Kolhatkar Family is related to Peshwa Rulers of Pune. This family was active in Maratha confederacy and also in independence struggle. Original wada was burned in fire and this structure replaced it about 150 years ago, it contains a stepwell and ganesh temple, also it has traces of traditional bullock driven oil mill. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Entrance Gate of Kolhatkar Wada



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Well in the premises of the wada



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Close up of the deity in the temple built in the premises of the wada



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: General view of the garden surrounding the wada



Image Title: Kolhatkar Wada
Image Type: Top-View
Reference: Ceiling of the Wada



Image Title: Kolhatkar Wada
Image Type: Side-View1
Reference: Gable end on the shorter side of the wada as seen from the garden of the wada



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Arches in the temple



Image Title: Kolhatkar Wada
Image Type: Rear-View
Reference: Curtilage surrounding th wada



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Ganesh temple in the premises of the wada



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Wooden members from the interiors of the wada removed

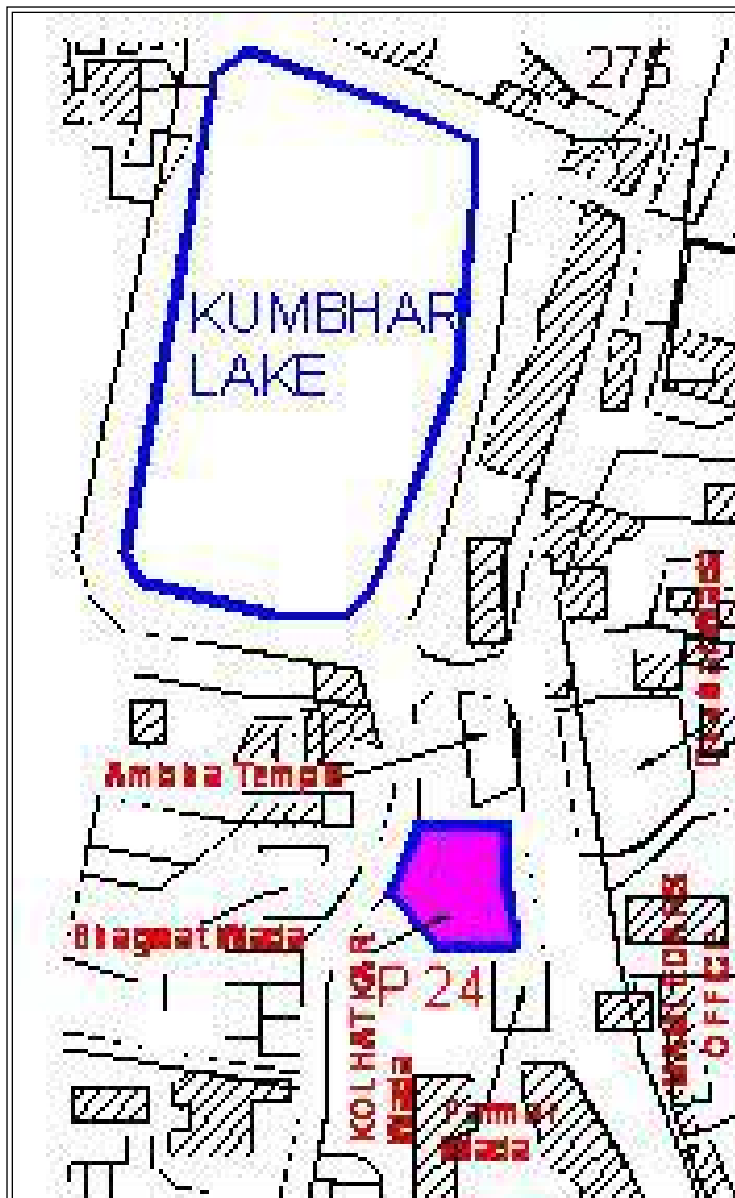


Image Title: Location plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: General view of the wada from the front



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: General view of the verandah



Image Title: Kolhatkar Wada
Image Type: Top-View
Reference: Ceiling of the Wada



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Main entrances to the house through the Verandah



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: Entry gate of the plot



Image Title: Kolhatkar Wada
Image Type: Rear-View
Reference: Surrounding building of the premises



Image Title: Kolhatkar Wada
Image Type: Front-View
Reference: View from Mr. Dharkar's Residence

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Kumbhar Tale

BASIC DETAIL

1.1	Premise Name	Kumbhar Tale
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	06
	Village	Pen
	Identification	Kumbhar Tale
1.03	Internal Reference Number	
1.04	CS No	
1.05	Street Name 1	Kumbhar Aali
1.06	Street Name 2	
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	NA
1.11	Type of Owner	-
1.12	Type of Occupancy	Tale
1.13	Current Use	Amenity
1.14	Type of Use	Amenity
1.15	Age	About 262 years.
1.16	Plot Area (sq.mt)	About five acres and a depth of about seven feet.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IE
1.20	Brief Detail	Natural water source in a water scarcity zone. Built water edge of town significant for scale and profile of townscape around it and the historic relation of land to water.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	1750
2.02	Extensions/ Modifications in	@2005
2.03	Extensions/ Modifications Details	Compound wall and gate built
2.04	Earlier Name(s)	Kumbhar Tale
2.05	Earlier Use(s)	Tale

2.06	Historical Significance	One of the important lakes well bounded one of the important lakes with purification and anti pollution measures, the lake would continue to hold its important place both as a water reservoir as well as a place for recreation.
2.07	Cultural Significance	One of the important lakes well bounded one of the important lakes with purification and anti pollution measures, the lake would continue to hold its important place both as a water reservoir as well as a place for recreation.
2.08	Architectural Significance	NA
2.09	Townscape Significance	Node of the town. Water edge showing the historic relationship of the town with a waterbody.
2.10	Other Significance	Ecological Importance, Natural resource- source of water
2.11	Value Classification	Town, Env.
2.12	Recommended Grade	IE

PHYSICAL CHARACTERISTICS

3.01	Height	depth of about seven feet		
3.02	No. of Floors	NA		
		Description	Problem/Threat	Condition
3.03	Structural System	Retaining wall with MS bar fence	newly constructed. Although there may be security and safety reasons for this wall to be built, it cuts off the lake from its surroundings, thus isolating it from the people and their daily lives.	Good
3.04	Plinth	Basalt Stone retaining wall	New construction	Good
3.05	Walls	M.S. Fence on Brick Wall	New construction	Good
3.06	Floors	NA	NA	-
3.07	Stairs	Steps leading to the water	Need maintenance	Minor Repair
3.08	Openings	Three tall MS gates provided at three different points	New construction	Good
3.09	Roof	NA	NA	-
3.10	Articulation	Fence has a certain minimal random design	No reference to context	Minor Repair
3.11	Finishes	Wall and fence both are painted	New construction	Good
3.12	Furniture	Childrens' play equipment fitted on one side.	Random placement without proper infrastructure and planning.	Minor Repair
3.13	Compound/Fence/Gate	Entire lake is fenced as described above	newly constructed. Although there may be security and safety reasons for this wall to be built, it cuts off the lake from its surroundings, thus isolating it from the people and their daily lives.	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	Roads on all sides	NA	Good
3.15	Lighting	Area is lit with electric street lighting in the nights	mundane fittings that are non contextual	Minor Repair
3.16	Ventilation	NA	NA	-
3.17	Electricity	Area is lit with electric street lighting in the nights	mundane fittings that are non contextual	Minor Repair
3.18	Water Supply	Natural springs and surface water drain	Surface water drain cut off due to compound wall. The water has accumulated so much moss that the lake looks like a vast patch of lawn	Minor Repair
3.19	Plumbing & Drainage	NA	NA	-

3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	Though safety and security may be a concern, the way in which the compound wall is built is not recommended. Apart from being a visually discordant, it cuts off the surface water drain that once reached the lake.		
3.22	Overall Maintenance Status	Below Average		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Waterbody
4.02	Overall Problems & Threats	Quality of water is a major concern. The lake is full of algal growth so that it looks like a vast patch of lawn and renders the water useless. Also the source of water other than the natural springs is surface water drain off. This has been totally cut due to the compound wall.
4.03	Additional Notes	Water bodies in town are a very valuable resources. They serve many purposes like being an urban open space, green area, recreation area, spot for a micro ecosystem etc. other than supplying the much needed water. Water bodies therefore should be fiercely guarded against potential risks of water pollution, abuse of card around them, destruction of components of the ecosystem, unsympathetic and unaesthetic uses and modifications as also getting filled up for land reclamation.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images



Image Title: Kumbhar Tale
Image Type: Front-View
Reference: The lake now protected by a compound



Image Title: Kumbhar Tale
Image Type: Front-View
Reference: The fountain installed in the lake



Image Title: Kumbhar Tale
Image Type: Front-View
Reference: The newly built compound to the lake

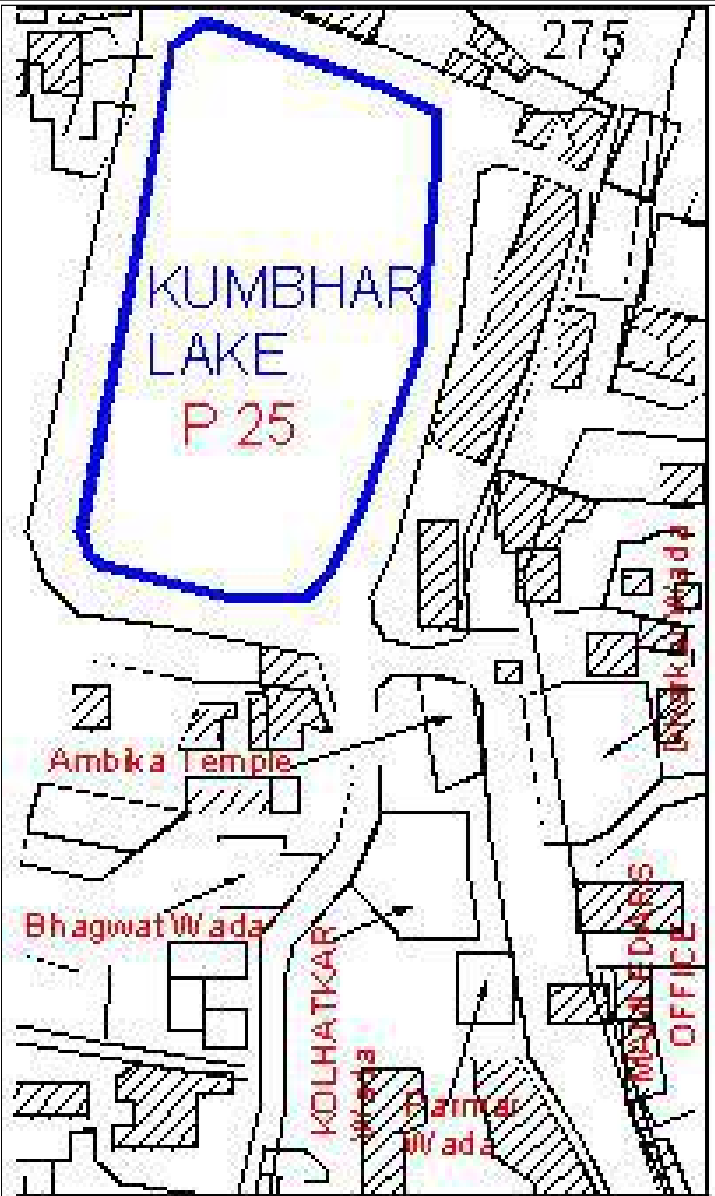


Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Kumbhar Tale
Image Type: Side-View1
Reference: The lake when full



Image Title: Kumbhar Tale
Image Type: Front-View
Reference: The lake when full

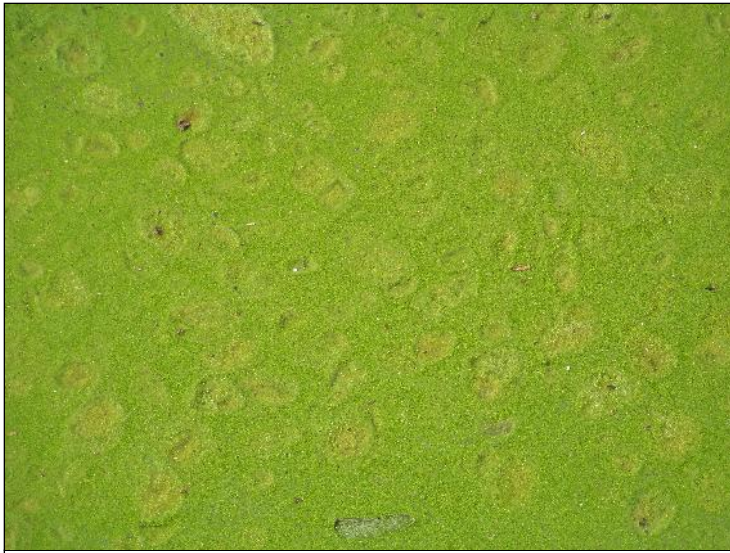


Image Title: Kumbhar Tale

Image Type: Front-View

Reference: Algae growing on the lake water

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Kaundal Tale

BASIC DETAIL

1.1	Premise Name	Kaundal Tale
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	06
	Village	Pen
	Identification	Kaundal Tale
1.03	Internal Reference Number	
1.04	CS No	NA
1.05	Street Name 1	Saalvi Aali
1.06	Street Name 2	
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	NA
1.11	Type of Owner	-
1.12	Type of Occupancy	Tale
1.13	Current Use	Amenity
1.14	Type of Use	Amenity
1.15	Age	About 385 years
1.16	Plot Area (sq.mt)	Area of about three acres.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	IE
1.20	Brief Detail	Natural water source in a water scarcity area. Associated flora and fauna. Natural waterfront of the town.
1.21	Date of Recording	2010-03-27

HISTORICAL DETAIL

2.01	Built in	Early 17th century
2.02	Extensions/ Modifications in	No record
2.03	Extensions/ Modifications Details	Area around has undergone extensive change and development. The edge of the lake is also modified. Water quality has also deteriorated.
2.04	Earlier Name(s)	Kaundal Tale
2.05	Earlier Use(s)	Tale

2.06	Historical Significance	One of the important lakes well bounded. One of the important lakes with purification and anti pollution measures. The lake would continue to hold its important place with as a water reservoir as well as a place for recreation.
2.07	Cultural Significance	One of the important lakes well bounded. One of the important lakes with purification and anti pollution measures. The lake would continue to hold its important place with as a water reservoir as well as a place for recreation.
2.08	Architectural Significance	NA
2.09	Townscape Significance	It is a natural resource. For the town, it is a large water body and open space.
2.10	Other Significance	Environmental significance for aquatic life and also that which is dependent and supported by the lake.
2.11	Value Classification	Town, Env.
2.12	Recommended Grade	IE

PHYSICAL CHARACTERISTICS

3.01	Height	depth not known		
3.02	No. of Floors	NA		
		Description	Problem/Threat	Condition
3.03	Structural System	Natural lake. Edges not constructed. Plinths and walls of other structures abut the water, but lake is not built	NA	Major Repair
3.04	Plinth	NA	NA	-
3.05	Walls	NA	NA	-
3.06	Floors	NA	NA	-
3.07	Stairs	NA	NA	-
3.08	Openings	NA	NA	-
3.09	Roof	NA	NA	-
3.10	Articulation	NA	NA	-
3.11	Finishes	NA	NA	-
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	Natural lake. Edges not constructed. Plinths and walls of other structures abut the water, but lake is not built	haphazard construction. needs to be checked for encroachment	Major Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	The banks of the lake are not sharply demarcated. The edges are mostly covered by hyacinth and other plants and weeds growing on or beside the water. Surrounding development is of various types, mostly residential. There is a small portion where the road touches the lake.	haphazard surrounding development. needs to be checked for encroachment	Major Repair
3.15	Lighting	No lighting done for the lake. Cables from one end pass over it to the other but do not serve the lake or its banks.	NA	-
3.16	Ventilation	NA	NA	-
3.17	Electricity	Cables passing over water	Visual distraction	-
3.18	Water Supply	Natural springs and surface water drain	OK. Water quality has deteriorated due to lack of maintenance	-
3.19	Plumbing & Drainage	Surrounding drains empty in the lake	pollution of water	-
3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	Haphazard development all around. Needs to be checked for encroachment, and as source of pollution. Water quality is bad.		
3.22	Overall Maintenance Status	Neglected		

3.23	Overall Condition	Major Repair
------	--------------------------	--------------

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Waterbody
4.02	Overall Problems & Threats	The lake seems like a neglected waterbody despite it being a large water source in a water scarcity area. The development around is not planned and neither are the edges of the lake. This may lead to large scale encroachment of the lake's area and also pollution.
4.03	Additional Notes	<p>Water quality improvement needs to be priority concern.</p> <p>Water bodies in town are a very valuable resources. They serve many purposes like being an urban open space, green area, recreation area, spot for a micro ecosystem etc. other than supplying the much needed water.</p> <p>Water bodies therefore should be fiercely guarded against potential risks of water pollution, abuse of card around them, destruction of components of the ecosystem, unsympathetic and unaesthetic uses and modifications as also getting filled up for land reclamation.</p>
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad.</p> <p>Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990.</p> <p>Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973.</p> <p>Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947.</p> <p>Dabu D G Kulabkar Angre Sarkhel.</p> <p>Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974.</p> <p>Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	NA
	Persons	Mr. Bairagi, Ex-journalist, Pen

Images



Image Title: Kaundal Tale
Image Type: Front-View
Reference: Hyacinth growth in the lake



Image Title: Kaundal Tale
Image Type: Front-View
Reference: General Views of the Lake



Image Title: Kaundal Tale
Image Type: Front-View
Reference: Construction really into the lake water

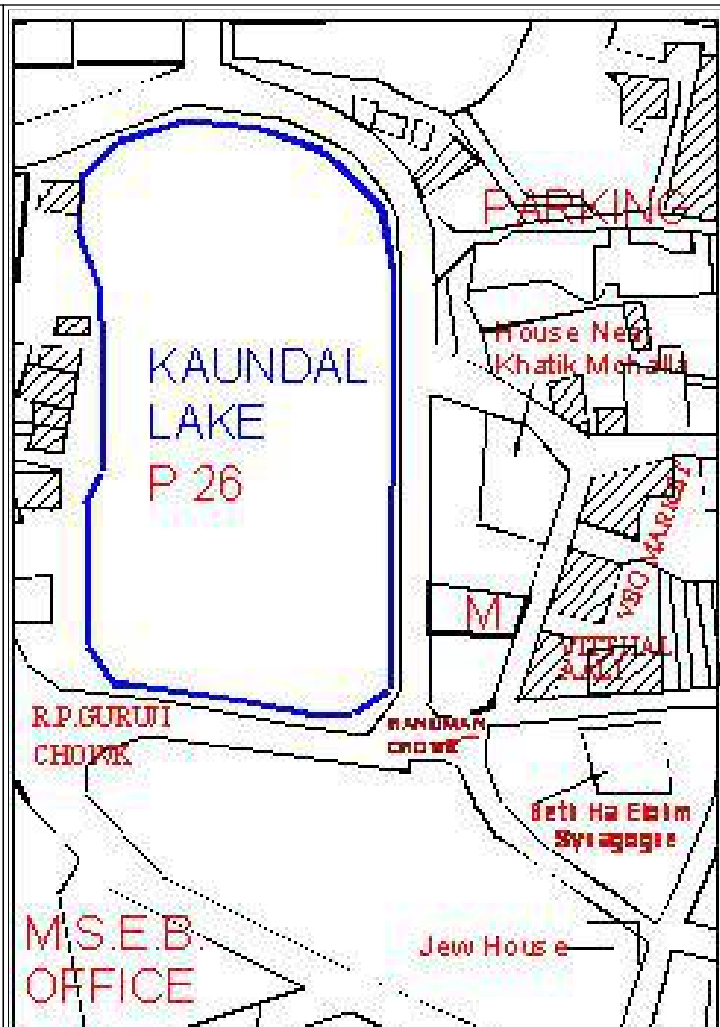


Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Kaundal Tale

Image Type: Front-View

Reference: General Views of the Lake

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Limaye Wada

BASIC DETAIL

1.1	Premise Name	Limaye Wada
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	12
	Village	Pen
	Identification	Limaye Wada
1.03	Internal Reference Number	
1.04	CS No	2058 - 2059
1.05	Street Name 1	Datar Aali
1.06	Street Name 2	Ghangrekar Marg
1.07	Area / Locality	Datar Wada
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Limaye Family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	@ 200- 250 years
1.16	Plot Area (sq.mt)	1488.3 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Major Repair
1.19	Grade	IIA
1.20	Brief Detail	Part of Datar Ali. Prominent projected balcony supported on brackets
1.21	Date of Recording	2010-04-26

HISTORICAL DETAIL

2.01	Built in	Approx - 18th century
2.02	Extensions/ Modifications in	No record
2.03	Extensions/ Modifications Details	Additions & Separations in rooms on upper floor and Ground Floor on the Datar wada side
2.04	Earlier Name(s)	Limaye wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	The Limaye wada was built in c. 1790. It was the residence of the Limayes. The Limaye were the tax collectors at Bor ghat toll. A percentage of the toll was given to the Peshwas. The ancestors were dashagranthi Brahmin and were the Upadhye of the Peshwas. Every year they used to attend the Peshwa darbar for the 'dakshina' and 'mandhan'. The ancestors of Shridhar Limaye, at present the owner of the wada, had bought this wada from the Dashagranthi Limaye in 1873. The Limayes and Kolhatkars were quite close to each other. Hence, during the false case of Sadashivrao Bhau, the Peshwas took the custody of the Limaye wada as well as all the important documents of the wada. After proving that the Limayes were not involved in this matter, the Limaye wada was given back. But the historical documents were not returned. Datar Ali is a residential neighbourhood with many historic buildings and a low rise character. It also has a lot of open space associated with the buildings. The neighbourhood is predominantly upper caste Brahmins who were once influential and wealthy.
2.07	Cultural Significance	Predominantly upper caste Brahmin neighbourhood with similar house type but variation in appointment as per individual wealth, taste and period of construction. There was no purdah system for the women in the Limaye family. The women were educated. The present generation belongs to the service background. The Ganeshotsav festival is celebrated jointly. At present the wada is used as a residence by 3 Limaye families) (ref. Gupta Rupa Raje, The wada of Maharashtra, an Indian courtyard house form, unpublished Ph.D. Thesis, Welsh school of Architecture, Cardiff)
2.08	Architectural Significance	About 100 years old building with stucco work to ornament columns, openings etc.
2.09	Townscape Significance	Part of Datar Ali which is a predominantly residential neighbourhood with ground storey or G+1 houses and gardens around them.
2.10	Other Significance	It is older than most of the houses in Datar Ali perhaps dating closer to the Datar wada.
2.11	Value Classification	A(arc), Town
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	@24 feet till ridge, part of the building is only ground floor.		
3.02	No. of Floors	Ground + 2 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	timber structure on stone plinth with load bearing walls	though most of the structure appears sound, there are a few places where there are wide and long cracks in the walls, especially at corners. Timber has deteriorated due to rotting and decay.	Major Repair
3.04	Plinth	basalt stone coarsely dressed	minor bulging	Minor Repair
3.05	Walls	Brick masonry above stone plinth. Mud plaster	Major cracks seen at a few places. Plaster is repaired in patches. New openings are introduced.	Major Repair
3.06	Floors	Timber floors for upper storey - original stone flooring on ground floor replaced with polished kota tiles. Shahabad flooring on upper floors, Mud+Cow Dung Flooring for Courtyard	Timber floor joists and beams members show distress	Minor Repair
3.07	Stairs	Timber stairs with timber balustrades, stone steps in courtyard.	Signs of sagging and ageing of timber member	Minor Repair
3.08	Openings	Plank timber shutter for doors and windows. Original grills are made of wood. Later grills are verticle iron bars.	Few are successively introduced. Later additions lack detail and finesse. Grills and Mosquito Nets added on First Floor	Minor Repair
3.09	Roof	Mangalore tiles over timber rafters.	Sagging , flaking of timber members	Minor Repair
3.10	Articulation	Nagarkhana dominates the facade, Articulated carved timber columns of nagarkhana, door frames, timber balusters of the windows	All timber members have aged and weathered. Enclosed by mosquito net	Minor Repair
3.11	Finishes	Walls are mud plastered and painted, Timber is painted in brown, may have originally been oiled.	Need maintenance	Minor Repair
3.12	Furniture	Not recorded	NA	-
3.13	Compound/Fence/Gate	Building abuts the road. Main door opens onto the central court yard	NA	Good

3.14	Curtilage / unbuilt / space /out buildings / landscape	Central Courtyard said to have had a stone fountain	NA	Good
3.15	Lighting	through court, windows, artificial lighting available	Electrification is a later addition and needs more sensitivity in routing.	Minor Repair
3.16	Ventilation	natural through court, windows+ artificial ventilation with electric fans	Electrification is a later addition and needs more sensitivity in routing	Minor Repair
3.17	Electricity	yes, but introduced later	Electrification is a later addition and needs more sensitivity in routing	Minor Repair
3.18	Water Supply	yes. Tap water is now available	NA	-
3.19	Plumbing & Drainage	Introduced later	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	Split A/C introduced.	-
3.21	Incongruent Transformation	No major intervention except the change in flooring tiles.		
3.22	Overall Maintenance Status	Maintenance level is below average, no structural maintaince, maintained by private individual.		
3.23	Overall Condition	Major Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Limaye Wada Premises on the North
4.02	Overall Problems & Threats	Ageing of structural timber members.Cracking of walls.
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist - Pen

Images



Image Title: Limaye Wada
Image Type: Front-View
Reference: Corner of the wada



Image Title: Limaye Wada
Image Type: Front-View
Reference: Rood scope of the wada



Image Title: Limaye Wada
Image Type: Front-View
Reference: Elaborate main entrance to the wada with the projecting first floor balcony



Image Title: Limaye Wada
Image Type: Front-View
Reference: Wooden Bracket of the Entrance



Image Title: Limaye Wada
Image Type: Front-View
Reference: Street view of the Limaye wada



Image Title: Limaye Wada
Image Type: Front-View
Reference: Internal Courtyard of the wada as seen from the main entrance



Image Title: Limaye Wada
 Image Type: Front-View
 Reference: Window detail showing the deterioration and ageing of the timber

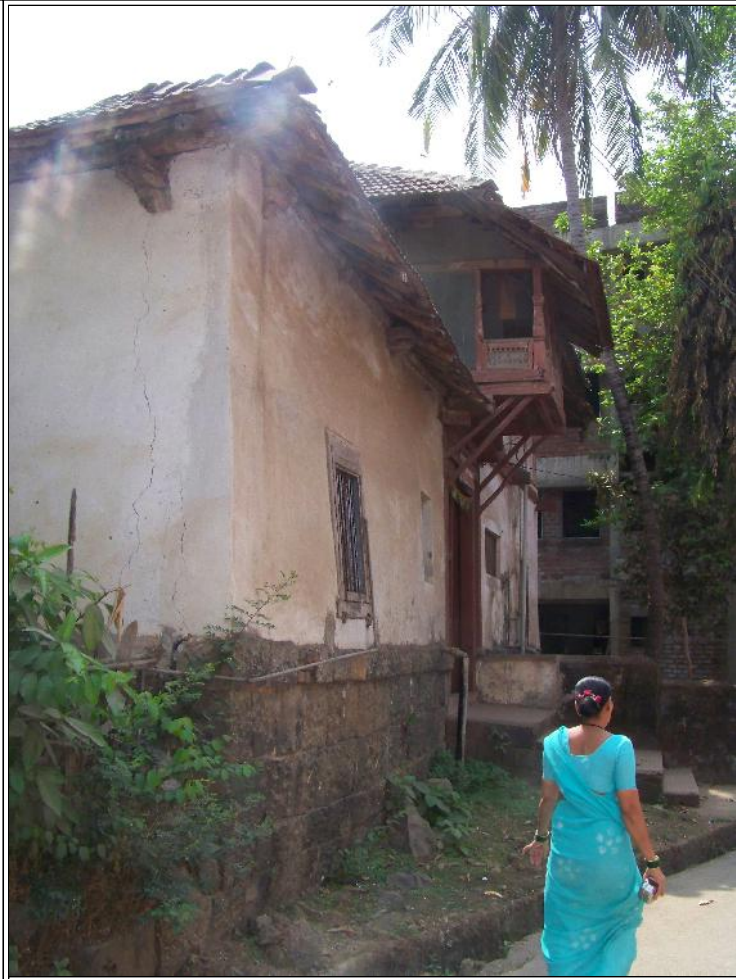


Image Title: Limaye Wada
 Image Type: Side-View1
 Reference: View showing the lots of plumb of the old wall



Image Title: Limaye Wada
Image Type: Front-View
Reference: Cracking of plaster on the exterior



Image Title: Limaye Wada
Image Type: Front-View
Reference: General view of the house from the street



Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location map

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Londhe wada

BASIC DETAIL

1.1	Premise Name	Londhe wada
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	12
	Village	Pen
	Identification	Londhe wada
1.03	Internal Reference Number	
1.04	CS No	2079
1.05	Street Name 1	Datar Aali
1.06	Street Name 2	
1.07	Area / Locality	Kasar Lake
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Belsare (A), Kumbhar (B & C)
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	More than 100 Years
1.16	Plot Area (sq.mt)	331 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IIA
1.20	Brief Detail	A traditional residence with influence of European elements
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	NA
2.03	Extensions/ Modifications Details	Minor, such as covering a terrace at the 2nd floor level.
2.04	Earlier Name(s)	Londhe Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	NA
2.07	Cultural Significance	Building bears relief figures of the queen even though belonging to local indian residents.
2.08	Architectural Significance	Stylised in a colonial fashion. It is a large house G+2 storied and with a modest open space behind. It is built in a colonial style, replete with colonial features, especially in lime stucco. These include the lions on the gate, the pilasters, keystones, parapet patterns etc., but most notably, the bust of the queen, about 100 years old structure.
2.09	Townscape Significance	structured adjoining to Datarwada and Datar ganpati temple, both very old structures
2.10	Other Significance	NA
2.11	Value Classification	A(arc), Town
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 2 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	load Bearing with timber structure for balcony and floors	NA	Good
3.04	Plinth	Bassalt stone dressed	uneven settlement on back side	Good
3.05	Walls	brick loadbearing walls	good except some settlement cracks at openings	Good
3.06	Floors	Timber beams and joists. The 2nd floor must be a later addition.	none	Good
3.07	Stairs	timber stairs with timber balustrades and jali	Flacking and signs of sagging	Good
3.08	Openings	Panelled shutters, low with windows.	settlement cracks at corners on backside windows	Good
3.09	Roof	Mangalore tiles on timber	balcony shows signs of sagging and leakages at certain spots	Ruin
3.10	Articulation	stucco work around openings Figuries on both sides of the window in First Floor & at parapet eves, articulated cornices, Key Stones	Figurines on both sides of the windows on First Floor Key stones	Good
3.11	Finishes	Pasterd & painted walls	Timber needs maintenance	Minor Repair
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	In brick, plastered. Arched entrance gate and lion posh	Arched entrance gate and Lion Posts flanking it.	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	toilet block, most notable is the entrance gate with 2 lion on its 2 posts.	NA	-
3.15	Lighting	Natural + Artificial, Tall Windows	NA	Good
3.16	Ventilation	Natural + Artificial Tall Windows	NA	Good
3.17	Electricity	Yes, introduced later	NA	Good
3.18	Water Supply	Yes	NA	Good
3.19	Plumbing & Drainage	STP	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	None	NA	-
3.21	Incongruent Transformation	addition of structure at the backside, terrace		
3.22	Overall Maintenance Status	Average - Needs Maintenance and minor repair.		

3.23	Overall Condition	Minor Repair
------	--------------------------	--------------

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Londhe Wada Premises on the East
4.02	Overall Problems & Threats	Future road widening.
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad.</p> <p>Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990.</p> <p>Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973.</p> <p>Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947.</p> <p>Dabu D G Kulabkar Angre Sarkhel.</p> <p>Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974.</p> <p>Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist - Pen.

Images



Image Title: Location Plan
Image Type: Topographic-Map
Reference: Location Map



Image Title: Londhe Wada
Image Type: Front-View
Reference: General view from the approach road

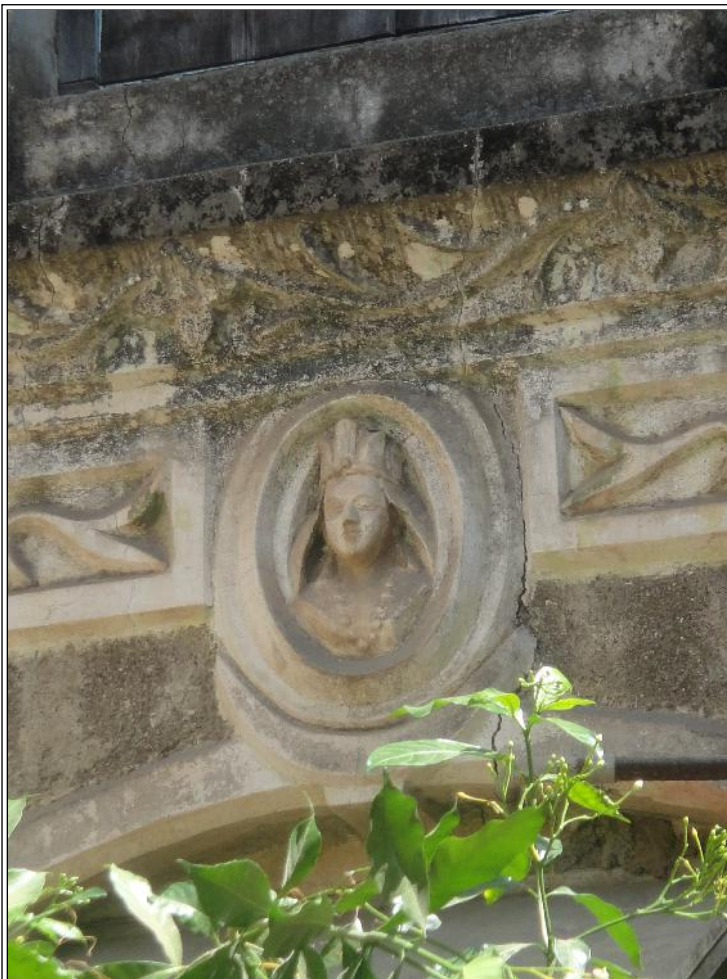


Image Title: Londhe Wada
Image Type: Front-View
Reference: A bust of the queen in lime stucco over the window

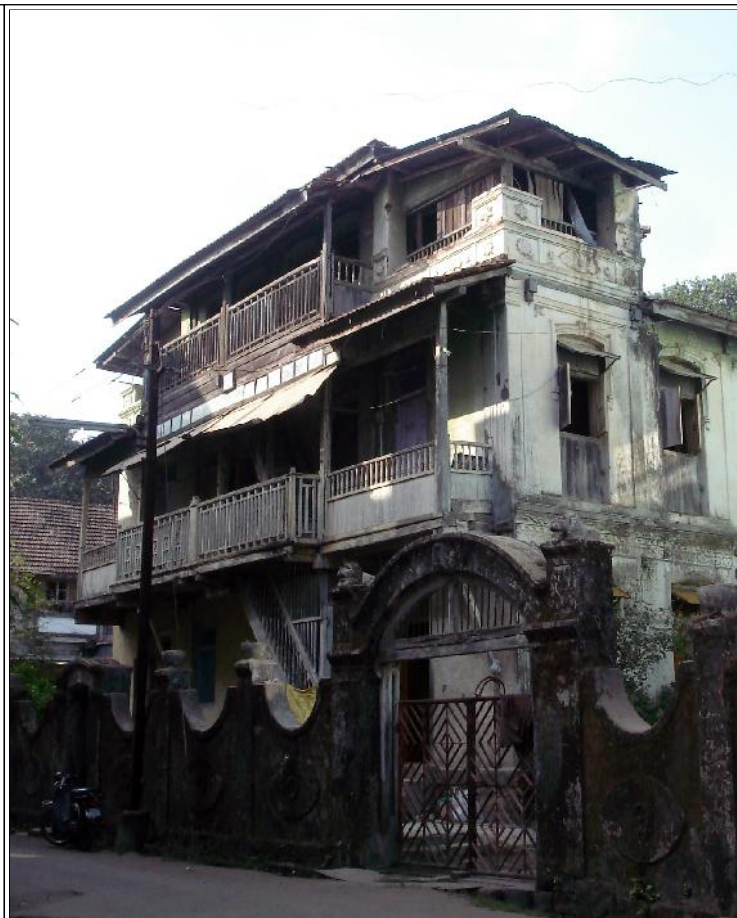


Image Title: Londhe Wada
Image Type: Front-View
Reference: General view from the approach road



Image Title: Londhe Wada
Image Type: Front-View
Reference: Deterioration of the stucco work



Image Title: Londhe Wada
Image Type: Side-View1
Reference: Detail of the side wall



Image Title: Londhe Wada
Image Type: Front-View
Reference: Lion on the gate

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Mandlik wada

BASIC DETAIL

1.1	Premise Name	Mandlik wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Mandlik wada
1.03	Internal Reference Number	
1.04	CS No	1377A 1380 1378
1.05	Street Name 1	Hanuman Aali
1.06	Street Name 2	
1.07	Area / Locality	Hanuman Aali
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Vishwanath Vishnu Mandlik
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Mixed use with Residential and Press
1.14	Type of Use	Mixed
1.15	Age	171 Years
1.16	Plot Area (sq.mt)	1210.60 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IIA
1.20	Brief Detail	Regional Typological Significance. Scale
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	1840 by Balaji Moro Mandlik
2.02	Extensions/ Modifications in	NA
2.03	Extensions/ Modifications Details	Most openings i.e. doors and windows modified.
2.04	Earlier Name(s)	Mandlik Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	"Mandilk Wada has played host to many great personalities such as Tilak, Savarkar, Senapati Bapat, Maharshi Karve etc., Late Rambhau Mandlik owner was a elected representative at the Vidhansabha (State Legislature), Mandilk family ran a daily named ""Sudhakar"" from 1855 to 1916"
2.07	Cultural Significance	NA
2.08	Architectural Significance	Example of a typology
2.09	Townscape Significance	Scale typical of Pen
2.10	Other Significance	NA
2.11	Value Classification	A(his), A(arc)
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber loadbearing structure with brick walls	NA	-
3.04	Plinth	Basalt dressed stone plinth	None	Good
3.05	Walls	Brick walls plastered painted Part of wall.	Stone masonry	Good
3.06	Floors	Original stone floor replaced by Shahabad. Timber First Floor balcony facing street supported by brick piece later.	NA	Good
3.07	Stairs	Timber stairs	NA	Good
3.08	Openings	Solid timber doors and windows	Ground Floor Windows modified by putting Aluminium Sliding shutters. Main door is a later addition	Good
3.09	Roof	Mangalore tiles on timber rafters	Needs maintenance, cracks in timber members, ageing Needs a lot of timely maintenance to its structure. Structural timber major repairs to roofing structure	Good
3.10	Articulation	Minimal, circular timber columns	Rusting of MS members, flaking of timber eaves and brackets	Good
3.11	Finishes	Oil based paint over timber members, plastered painted walls	NA	-
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	Brick wall	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Printing press, store	Toilet added on street corner.	-
3.15	Lighting	Natural through openings and artificial	NA	Good
3.16	Ventilation	Yes	NA	Good
3.17	Electricity	NA	NA	-
3.18	Water Supply	NA	NA	Good
3.19	Plumbing & Drainage	STP	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	NA		

3.22	Overall Maintenance Status	NA
3.23	Overall Condition	Minor Repair

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Mandlik Wada Premises on the North.
4.02	Overall Problems & Threats	NA
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist Pen

Images

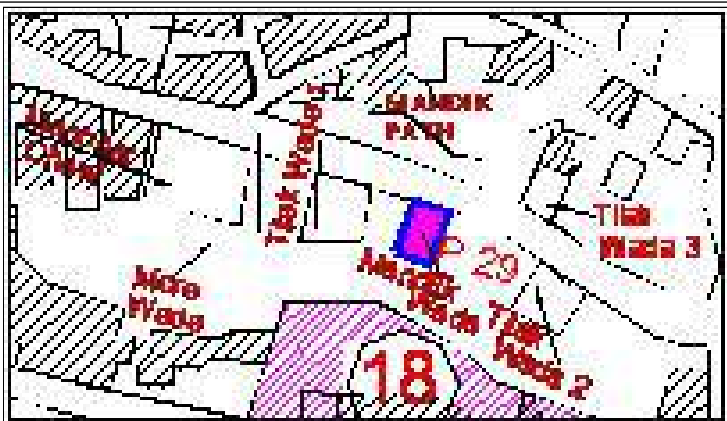
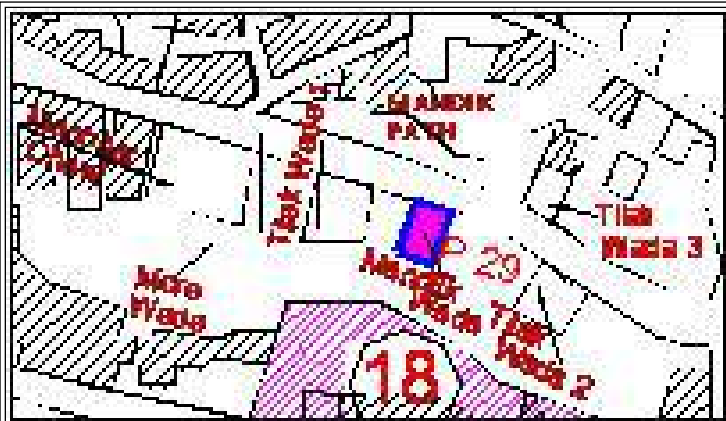


Image Title: location plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Mandlik Wada
Image Type: Top-View
Reference: Internal wooden stairs



Image Title: Mandlik Wada
Image Type: Side-View1
Reference: Windows of the printing press



Image Title: Mandlik Wada
Image Type: Top-View
Reference: Detail of wooden column and beam junction

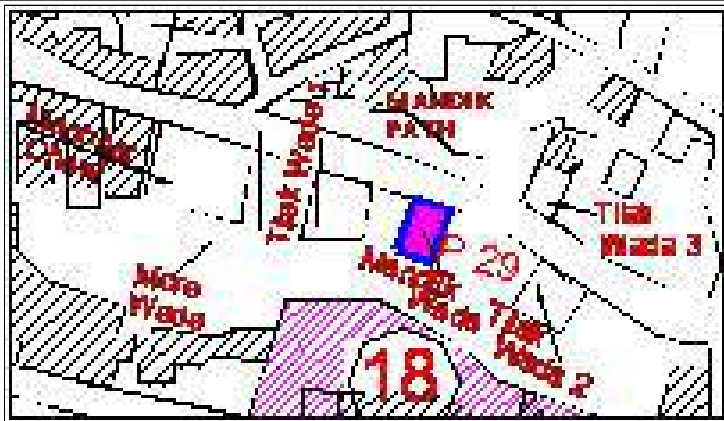


Image Title: Mandlik Wada
Image Type: Top-View
Reference: Detail of wooden column and beam junction



Image Title: Mandlik Wada
Image Type: Top-View
Reference: Water leakage in the wooden ceiling

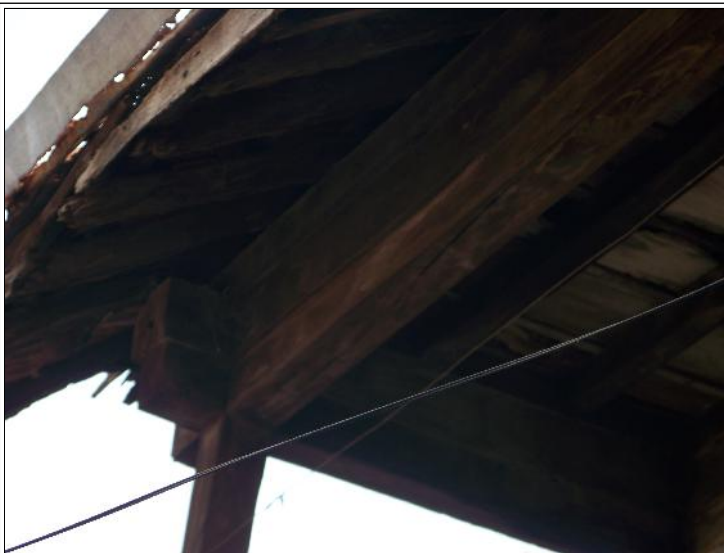


Image Title: Mandlik Wada
Image Type: Top-View
Reference: Rare detail of plaque at the entrance gate



Image Title: Mandlik Wada
Image Type: Front-View
Reference: General View of the Mandlik Wada from the street



Image Title: Mandlik Wada
Image Type: Top-View
Reference: At Ground Floor rounded timber column and grilled windows with panelled shutters



Image Title: Mandlik Wada
Image Type: Front-View
Reference: Entrance gate arrowing the printing press of the Kulaba Samachar that was published from here

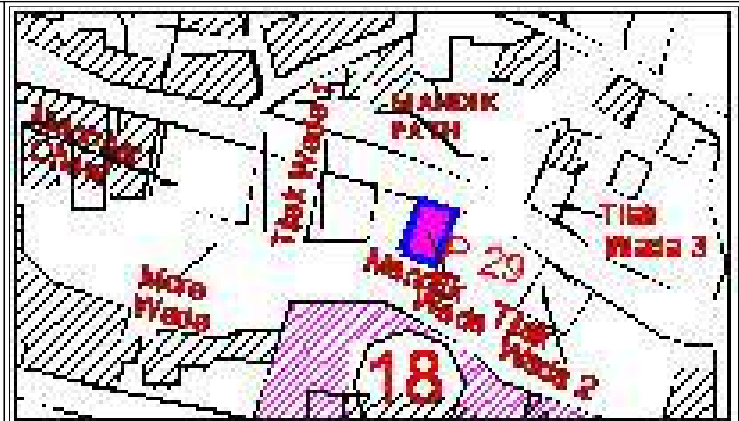


Image Title: Mandlik Wada
Image Type: Front-View
Reference: Entrance gate arrowing the printing press of the Kulaba Samachar that was published from here



Image Title: Mandlik Wada

Image Type: Front-View

Reference: Entrance gate arrowing the printing press of the Kulaba Samachar that was published from here



Image Title: Mandlik Wada

Image Type: Front-View

Reference: View of the first floor timber gallery



Image Title: Mandlik Wada

Image Type: Front-View

Reference: Street facade of Mandlik Wada

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Manohar Chawl

BASIC DETAIL

1.1	Premise Name	Manohar Chawl
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Manohar Chawl
1.03	Internal Reference Number	
1.04	CS No	1401 -1427
1.05	Street Name 1	Mandlik Road
1.06	Street Name 2	
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Manohar Family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Fully Leased / Rented
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	More than 200 years old.
1.16	Plot Area (sq.mt)	2259.3 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	III
1.20	Brief Detail	Unique design of old multifamily residential building.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	Late 1800
2.02	Extensions/ Modifications in	NA
2.03	Extensions/ Modifications Details	No major alteration to exterior structure or interiors.
2.04	Earlier Name(s)	Manohar Chawl
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	Multifamily chawls evolved during the nineteenth century and early twentieth century when cities and towns experienced migration from the hinterlands. People came in search of jobs and chawls provided them an affordable rental housing. Community living in chawls is hailed as an example of a close knit social group with advantages of sharing and security.
2.07	Cultural Significance	Chawls are markers of the presence of a lower income group of people engaged in various jobs who have migrated to the town from hinterlands. They are also examples of a close knit community based on sharing.
2.08	Architectural Significance	Chawl is a prototype that developed during the later half of the nineteenth century and the early part of the twentieth century. Typically, it is composed of single or two room apartments sharing walls and arranged linearly along a corridor or narrow court as in this case. Toilets are common, though a small half washing area may be provided inside each apartment. The arrangement most of the times results in lighting and ventilation drawn from one side- that of the access court or corridor. In few cases, the rear room/ wall may also have a window if space permits.
2.09	Townscape Significance	The building has a street facade that is different than the chawl arrangement at the rear. the street facade confirms to the features of other buildings on the street.
2.10	Other Significance	NA
2.11	Value Classification	A(arc), Town
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with loadbearing walls	None	-
3.04	Plinth	Dressed Basalt Stone	None	Good
3.05	Walls	Brick walls plastered painted	Maintenance required to plaster especially at the junctions between walls and timber posts / beams etc.	Minor Repair
3.06	Floors	Mud flooring at ground floor replaced by Shahbad tiles.	None	Good
3.07	Stairs	Timber stairs	Lack of maintenance	Minor Repair
3.08	Openings	Segmental arched openings of windows. Timber panel shutters with MS Grill	Needs minor maintenance	Minor Repair
3.09	Roof	Tin sheets on timber roof	Rainwater leakages. Corrosion of tin sheets.	Minor Repair
3.10	Articulation	Entrance to chawl emphasized by decorative pilasters, First floor and ground floor separated by a wide and deep cornice in lime.	Lack of maintenance	Minor Repair
3.11	Finishes	Walls plastered and painted, most woodwork painted. Flooring tiles added at a later date. Tin sheet roof.	Lack of maintenance. Discolouration. Seepage disfigurement.	Minor Repair
3.12	Furniture	No worthwhile original pieces remain.	NA	-
3.13	Compound/Fence/Gate	Building directly abuts road. But the chawl is accessed through an iron gate in the building leading to a lane behind	Iron gate discoloured and corroded	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Common lane serves as the multi-use communal open space	NA	-
3.15	Lighting	Natural through openings / Court + Artificial	NA	Good
3.16	Ventilation	Natural and artificial with fans. Due to the narrow plan, good ventilation is difficult.	NA	Minor Repair
3.17	Electricity	Yes, surface wiring	Needs to be routed safely and sensitively wrt the building.	Minor Repair
3.18	Water Supply	Yes. Municipal connection.	NA	Good
3.19	Plumbing & Drainage	Local septic tank	minor repairs and maintenance needed	Minor Repair

3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Passage added to adjoining house (P-29 More Wada). False ceiling and flooring changed.		
3.22	Overall Maintenance Status	Needs repair.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Manohar Chawl Premises on the North.
4.02	Overall Problems & Threats	Roofing structure, plastering of walls etc. if attended to timely, then the longevity of the structure would be ensured.
4.03	Additional Notes	NA
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad.</p> <p>Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990.</p> <p>Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973.</p> <p>Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947.</p> <p>Dabu D G Kulabkar Angre Sarkhel.</p> <p>Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974.</p> <p>Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	NA
	Persons	NA

Images



Image Title: Manohar Chawl
Image Type: Front-View
Reference: Deteriorating walls of timber work



Image Title: Manohar Chawl
Image Type: Front-View
Reference: Roofs cap of the chawl



Image Title: Manohar Chawl
Image Type: Top-View
Reference: Wooden ceiling of the room

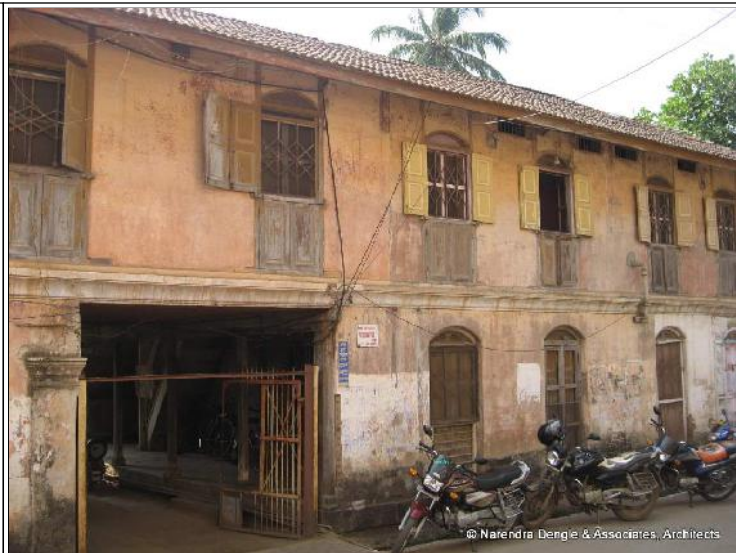


Image Title: Manohar Chawl
Image Type: Front-View
Reference: Street view of the chawl looking towards Tilak Wada

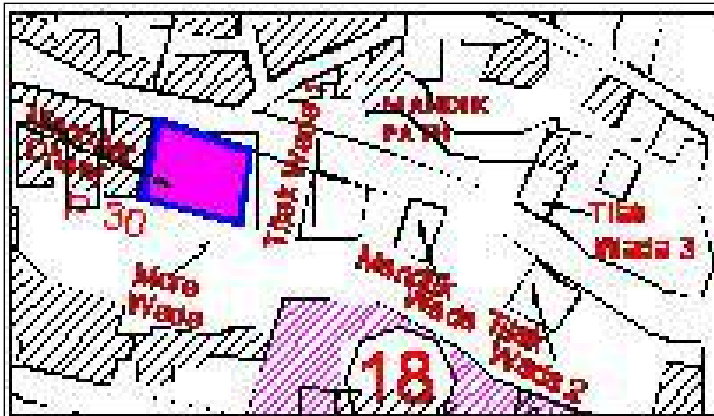


Image Title: Manohar Chawl
Image Type: Front-View
Reference: Street view of the chawl looking towards tilak wada



Image Title: Manohar Chawl
Image Type: Front-View
Reference: Entry gate of the Chawl

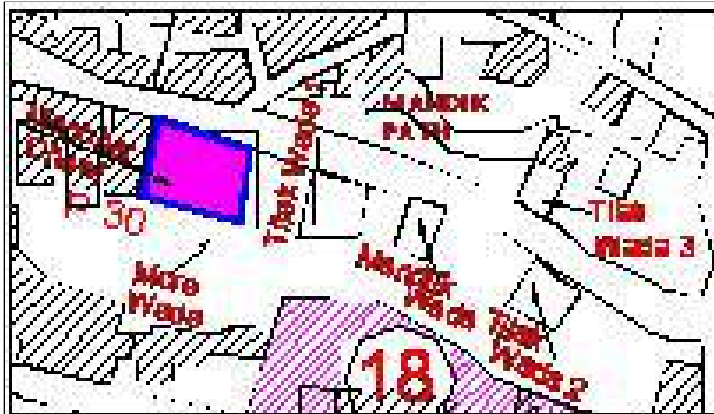


Image Title: location plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Manohar Chawl
Image Type: Top-View
Reference: Ceiling of the entry to the chawl using I sections of Shahbad tiles



Image Title: Manohar Chawl
Image Type: Front-View
Reference: Corner narrow corridor inside the chawl



Image Title: Manohar Chawl
Image Type: Front-View
Reference: The common open space overlooked by tenant houses



Image Title: Manohar Chawl
Image Type: Front-View
Reference: Panoramic View of Manohar Chawl



Image Title: Manohar Chawl
Image Type: Front-View
Reference: Street view



Image Title: Manohar Chawl
Image Type: Top-View
Reference: Deteriorating timber work



Image Title: Manohar Chawl
Image Type: Front-View
Reference: Close view of the first floor windows

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for More Wada

BASIC DETAIL

1.1	Premise Name	More Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	More Wada
1.03	Internal Reference Number	
1.04	CS No	1401-1427
1.05	Street Name 1	Mandlik Road
1.06	Street Name 2	
1.07	Area / Locality	
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Manohar Family
1.11	Type of Owner	Private
1.12	Type of Occupancy	Partly Leased / Rented
1.13	Current Use	Mixed use with Residential and Commercial
1.14	Type of Use	Mixed
1.15	Age	About 100 years
1.16	Plot Area (sq.mt)	2259.3 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	III
1.20	Brief Detail	Unique example of a private residence attached with rented housing (chawl) from the turn of the century.
1.21	Date of Recording	2010-03-29

HISTORICAL DETAIL

2.01	Built in	Record not available. Estimated date could be last decade of the 19th century or first two decades of the 20th century.
2.02	Extensions/ Modifications in	Not available
2.03	Extensions/ Modifications Details	Shop made by modifying one corner of the building's ground floor.
2.04	Earlier Name(s)	More Wada
2.05	Earlier Use(s)	Residential and Commercial

2.06	Historical Significance	NA
2.07	Cultural Significance	Early example of rental housing. This is especially unique since the rental housing is physically attached to the owners wada.
2.08	Architectural Significance	Example of a rare typology from the turn of the century of private residence and rental housing attached together.
2.09	Townscape Significance	Part of street with similar scale and type of buildings that gives the town its dominant character. Protruding into the street, indicative of street plans without due regard to existing structures.
2.10	Other Significance	NA
2.11	Value Classification	A(arc), Town
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 1 Upper + 1/2		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with partly loadbearing brick walls	Timber members show distress.	Minor Repair
3.04	Plinth	Ashlar Basalt Stone	Uneven settlement	Minor Repair
3.05	Walls	Brick masonry plastered and painted	Plaster flacking at some spots. Corner walls of the ground floor at the junction of two streets removed and replaced by piers.	Major Repair
3.06	Floors	Timber floor supported on timber beams.	Timber beams and joists show sagging	Minor Repair
3.07	Stairs	Timber	Flaking	Good
3.08	Openings	Panel timber shutters with verticle iron bar grill, Paneled timber shutters for doors	need maintenance	Good
3.09	Roof	Mangalore tiles on timber rafters and joists	Rainwater leakages	Minor Repair
3.10	Articulation	Articulated stone column bases, brackets, railings of turned and bolted/ rivetted iron flats	rusting, discolouration	Minor Repair
3.11	Finishes	Walls are painted, ironwork and wood work also painted. Shahabad flooring.	Discolouration. Virtually all timber members show decay, loosening of joints or sag.	Minor Repair
3.12	Furniture	not noteworthy	NA	-
3.13	Compound/Fence/Gate	Building abuts road on both sides and shares a wall with the neighbours on the other two.	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	none	NA	-
3.15	Lighting	Natural through openings / front half-court + artificial with electrical lights	Unplanned and risky	Minor Repair
3.16	Ventilation	Openings, gallery on first floor. Ventilators on top of doors and windows. Artificial with electric fans.	needs maintenance	Good
3.17	Electricity	Later introduced.	Unplanned. Supply cables from the street poles hanging precariously over the court and the facade of the building.	Minor Repair
3.18	Water Supply	Yes. Tap water.	NA	Good
3.19	Plumbing & Drainage	Introduced later.	needs repairs	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-

3.21	Incongruent Transformation	The corner of the building is precariously modified. Shops are introduced on the ground floor.
3.22	Overall Maintenance Status	Average
3.23	Overall Condition	Minor Repair

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the More Wada Premises on the North.
4.02	Overall Problems & Threats	The building needs maintenance, especially all the timber members need immediate attention. Risky electrical cables on the front street, over court and facade. Shops on ground floor have been made by breaking walls.
4.03	Additional Notes	Street widening or widening of the junction of the two streets on which the house abuts is a sure threat to the building. Hoardings, banners, advertisements on walls, etc may be avoided. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist, Pen

Images



Image Title: More Wada
Image Type: Front-View
Reference: Street view of More Wada



Image Title: More Wada
Image Type: Top-View
Reference: First floor verandah



Image Title: More Wada
Image Type: Front-View
Reference: Detail of wrought iron grill on first floor



Image Title: More Wada
Image Type: Front-View
Reference: Deteriorating timber work on First Floor



Image Title: More Wada
Image Type: Top-View
Reference: Weathered timber beam head



Image Title: More Wada
Image Type: Top-View
Reference: Stressed wooden joinery



Image Title: More Wada
Image Type: Top-View
Reference: Detail of column capital of the First floor verandah column



Image Title: More Wada
Image Type: Top-View
Reference: Wooden pendant at the eare end

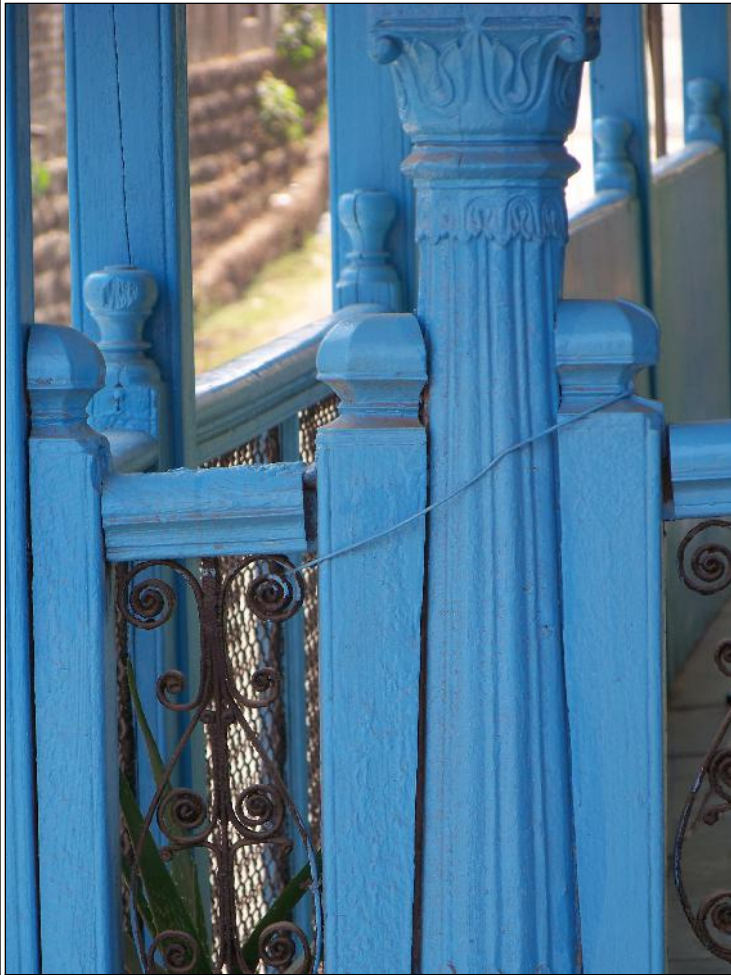


Image Title: More Wada
Image Type: Front-View
Reference: Details of wooden joints on First Floor Verandah

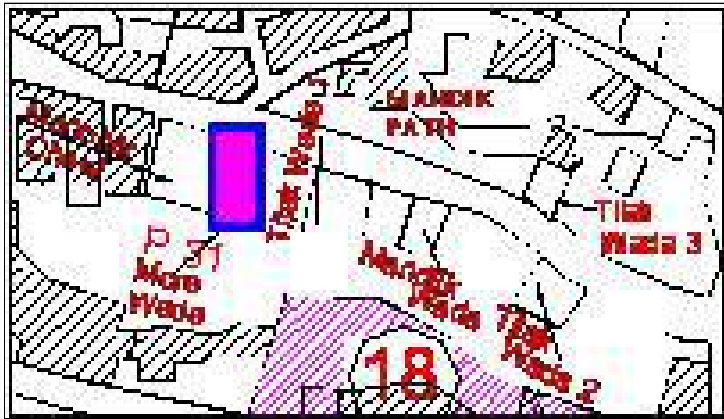


Image Title: location plan
Image Type: Topographic-Map
Reference: location map



Image Title: More Wada
Image Type: Side-View1
Reference: Street view of the More Wada



Image Title: More Wada
Image Type: Front-View
Reference: Stone base of timber column in verandah



Image Title: More Wada
Image Type: Front-View
Reference: Flooring



Image Title: More Wada
Image Type: Top-View
Reference: Front yard



Image Title: More Wada
Image Type: Top-View
Reference: View overlooking the front court from the first floor

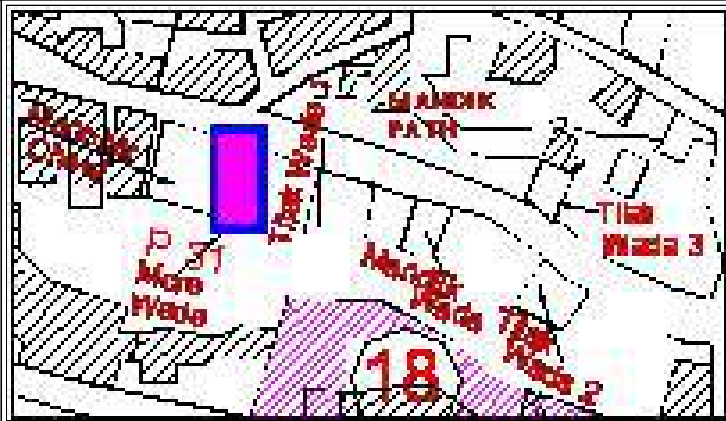


Image Title: More Wada
Image Type: Top-View
Reference: View overlooking the front court from the first floor



Image Title: More Wada
Image Type: Top-View
Reference: Detail of bracket

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Motiram Talav

BASIC DETAIL

1.1	Premise Name	Motiram Talav
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	12
	Village	Pen
	Identification	Motiram Talav
1.03	Internal Reference Number	
1.04	CS No	NA
1.05	Street Name 1	
1.06	Street Name 2	
1.07	Area / Locality	Pen
1.08	Nearby landmark if any	Rameshwar Mandir
1.09	Pin Code	402107
1.10	Current Owner	NA
1.11	Type of Owner	Local Govt.
1.12	Type of Occupancy	Local Govt.
1.13	Current Use	Utility
1.14	Type of Use	Utility
1.15	Age	135 years
1.16	Plot Area (sq.mt)	NA
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IE
1.20	Brief Detail	This dam was built in 1876 with funds donated by a marwarri merchant Seth Keshav Motiram. Valuable for the history and as a water resource in a water scarcity zone.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	1876 CE
2.02	Extensions/ Modifications in	NA
2.03	Extensions/ Modifications Details	NA
2.04	Earlier Name(s)	Motiram Talav
2.05	Earlier Use(s)	Utility

2.06	Historical Significance	The talav is named after a Marvari merchant of Pen, who bequethed Rs.12,000/- for the water supply at Pen. the construction began on 2 january 1876 and finished on 1 june 1876 by Arthur Crawford, Collector; W.Gray, C.E; Engineer and Nager Purbhaji Contractor. (ref. Gazeteer- Kolaba district). The construction of the Dam (known as Motiram Talav) was funded by Seth Motiram in 1876 CE, for Pen water supply. First piped water supply scheme for Pen that was handed over to the Municipality by Motiram Seth's family.
2.07	Cultural Significance	An act of Philanthropy for the larger good of the citizens of Pen.
2.08	Architectural Significance	The dam is ideally located in the catchment area of the local hills and dug out from rocky strata. Dam wall with stone pitching for certain lengths is seen. A commemorative marble plaque with inscriptions is seen inset in a stone frame over a barrel vault with pointed keystone outlet that supplies water.
2.09	Townscape Significance	NA
2.10	Other Significance	Environmentally significant
2.11	Value Classification	A(his),A(cul),B(per),E,H(tec),I(sce)
2.12	Recommended Grade	IE

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	NA		
		Description	Problem/Threat	Condition
3.03	Structural System	Loadbearing, stone faced earth retaining wall. Barrel vaulted supply duct with pointed keystone	The visible part of the supply duct shows growth of vegetation which needs to be checked to prevent structural damage. There is leakage from the talav.	Minor Repair
3.04	Plinth	NA	NA	-
3.05	Walls	NA	NA	-
3.06	Floors	NA	NA	-
3.07	Stairs	NA	NA	-
3.08	Openings	NA	NA	-
3.09	Roof	NA	NA	-
3.10	Articulation	Commemorative marble plaque set in stone border.	Needs cleaning	Minor Repair
3.11	Finishes	Bare stone finished	Fair	Good
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/ Gate	NA	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	The talav has a catchment are that comprises of the surrounding hills.	For effective protection of the talav the entire catchment needs to be defined and protected.	Good
3.15	Lighting	NA	NA	-
3.16	Ventilation	NA	NA	-
3.17	Electricity	NA	NA	-
3.18	Water Supply	NA	NA	-
3.19	Plumbing & Drainage	NA	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	NA		
3.22	Overall Maintenance Status	As mentioned above For effective protection of the talav the entire catchment needs to be defined and protected.		

3.23	Overall Condition	Minor Repair
------	--------------------------	--------------

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Waterbody
4.02	Overall Problems & Threats	Presently the talav faces the issues of silting and leakage. these issues need to be addressed in order to retain usability of the talav for future.
4.03	Additional Notes	Motiram Talav has traditionally also been a place for recreation. The activity traditionally has been very non invasive and in future can be revived in reverence to the sanctity of the landscape. The talav needs to be integrated into the planning process and considered as a potential source of water supply. Considering its location outside the town, the conservation measures may be such that involve minimum construction, respectively its natural settings.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi Ex-Journalist - Pen

Images



Image Title: Motiram Talav

Image Type: Front-View

Reference: Plaque showing the dedication of the water works

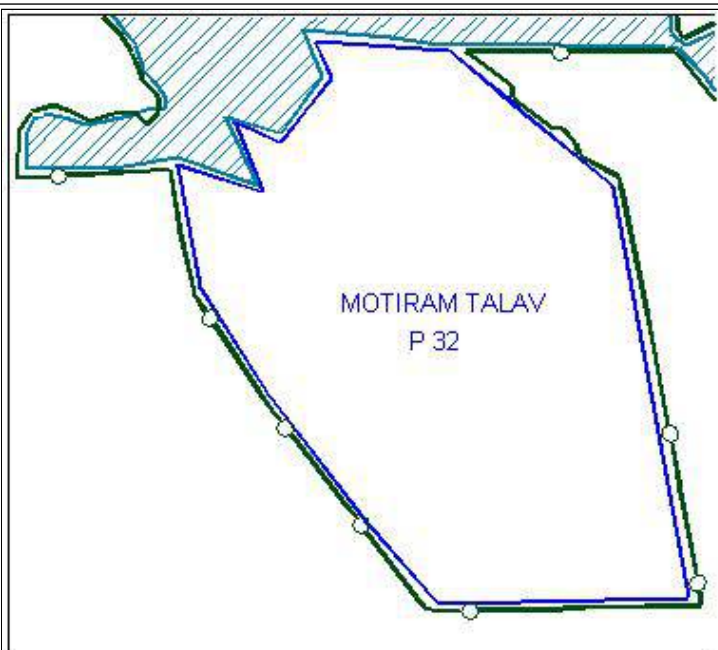


Image Title: Motiram Talav

Image Type: Front-View

Reference: Plaque showing the dedication of the water works



Image Title: Motiram Talav

Image Type: Front-View

Reference: Plaque showing the dedication of the water works



Image Title: Motiram Talav

Image Type: Side-View1

Reference: General view of the lake



Image Title: Motiram Talav
Image Type: Front-View
Reference: General view of the lake



Image Title: Motiram Talav
Image Type: Side-View1
Reference: General view of the lake



Image Title: Motiram Talav
Image Type: Front-View
Reference: Close up view of the water outlet

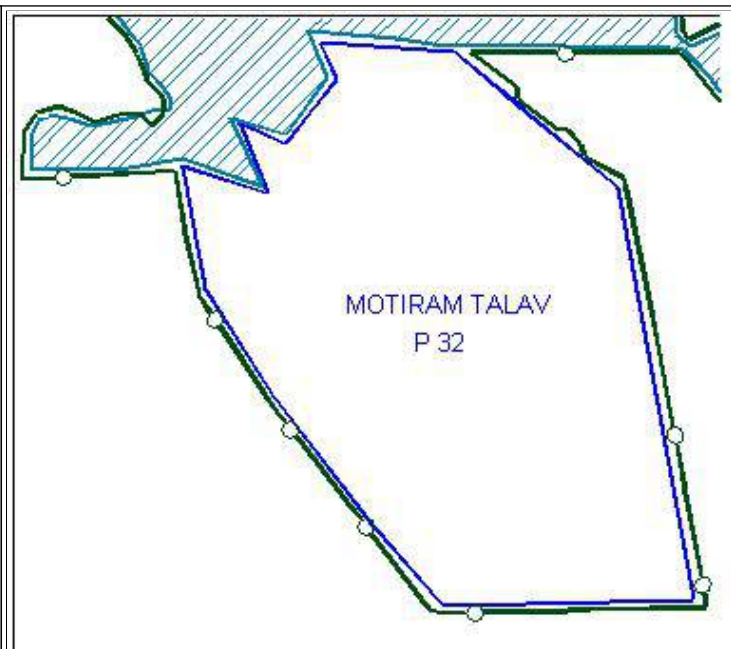


Image Title: location plan
Image Type: Top-View
Reference: Location map



Image Title: location plan
Image Type: Top-View
Reference: Location map



Image Title: Motiram Talav
Image Type: Front-View
Reference: General view of the lake

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Parmar Wada

BASIC DETAIL

1.1	Premise Name	Parmar Wada
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	05
	Village	Pen
	Identification	Parmar Wada
1.03	Internal Reference Number	
1.04	CS No	721,717,718,716
1.05	Street Name 1	Shivaji Path
1.06	Street Name 2	
1.07	Area / Locality	Near Kolhatkar Wada
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Pendse, Mr Patankar and others
1.11	Type of Owner	Private
1.12	Type of Occupancy	Partly Leased / Rented
1.13	Current Use	Residential. Meeting place of Rotary Club of Pen.
1.14	Type of Use	Residential
1.15	Age	Demolished
1.16	Plot Area (sq.mt)	959.9 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	-
1.19	Grade	Deleted
1.20	Brief Detail	Example of a typology of residential architecture that developed in the later part of the nineteenth century and early twentieth century. This is an example of a multifamily residence designed to be leased out. The layout of the leased portion is typical with a groundfloor veranda and a first floor gallery over it that serves both as an access to the separate units as well as a spill out space for the residents.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	Early 20th Century
2.02	Extensions/ Modifications in	No record
2.03	Extensions/ Modifications Details	no major modifications
2.04	Earlier Name(s)	Parmar Wada

2.05	Earlier Use(s)	Residential
2.06	Historical Significance	NA
2.07	Cultural Significance	The building marks a phase when a single family residence changed to the concept of a multifamily rented group of small units that shared an open space, an access corridor and even a balcony. Toilets were also shared and were usually built on the ground floor. The owners also had their residences in the same building or compound.
2.08	Architectural Significance	Early typological example of rented housing. The plan is typical with units arranged side by side sharing walls and accessible through a vernada or balcony. The units are of two rooms each. Open space and toilets are shared.
2.09	Townscape Significance	It maintains the streetscape of G+1 buildings most of the times sharing walls. Open areas lie inside the building while street has a continuous built edge.
2.10	Other Significance	NA
2.11	Value Classification	A(arc),B(per),I(sce)
2.12	Recommended Grade	Deleted

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with loadbearing brick walls	Brick work has cracked. Timber members have rotted, and at places show serious damage to the structure	Major Repair
3.04	Plinth	Ashlar Basalt Stone	None	Good
3.05	Walls	Brick masonry plastered and painted. Timber columns	Cracks at various places, especially at the base of arches in the adjoining building. Timbers have rotted and weakened. At one or two places it has also been strengthened or replaced by MS stanchions.	Major Repair
3.06	Floors	Timber beams, joists supporting mud floor with stone tiles. Timber flooring at ground floor replaced by Kota. Many planks of the balcony show deterioration due to water seepage.	Timber planks over joists replaced in some places by shahabad stone. Timber joists show extensive rotting at a few places.	Minor Repair
3.07	Stairs	Timber (2 nos)	Flaking of paint. Minor problems with timber members.	Minor Repair
3.08	Openings	Panelled timber shutters and timber frames for doors and windows. Ventilators above doors and windows on ground floor. Horizontal iron bar grills to windows. Some openings are spanned by brick arches. Some openings facing the street are full height with two sets of shutters.	Most arches have developed cracks at their bases. Shutters of doors and windows need little repairs and maintenance	Good
3.09	Roof	Mangalore tiles on Timber rafters	no major repairs	Good
3.10	Articulation	Minimal, Articulated cast iron brackets	None	Good
3.11	Finishes	Walls are painted. Veranda on ground floor has flag stone flooring. Interiors have shahabad stone as do upper storeys. Timber work is painted.	Paint has flaked at many places. Stone floor has worn with use and water. Ironwork requires repainting.	Minor Repair
3.12	Furniture	Built in Cupboards in wall. No movable items worth mentioning.	no problem	Good
3.13	Compound/Fence/Gate	The building abuts the street	Wall facing the street shows cracking of brickwork and discolouration. Main entrance to the building is in a bad state.	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	Ganesh Mandir, Well, Toilet and Store. A beautiful fountain sits in the inner courtyard.	minor repairs required for all structures	Minor Repair

3.15	Lighting	Natural through openings & Artificial with electricity. Ventilators on top of doors and windows also admit light when doors are closed. Full height windows with double shutters allow control of light and ventilation in the interiors during different times of the day and different seasons of the year.	No major problems	Good
3.16	Ventilation	Natural through openings & Artificial with electricity. Ventilators on top of doors and windows also admit light when doors are closed. Full height windows with double shutters allow control of light and ventilation in the interiors during different times of the day and different seasons of the year. A special ventilator roof tile is fixed on the roof at specific places to let out smoke and hot air from the rooms below.	No major problems	Good
3.17	Electricity	Introduced later. Casing capping is used in most parts. There are some places where the cable is directly fixed to the timber members.	Not very well planned and also a bit risky.	Minor Repair
3.18	Water Supply	Yes. Individual and common.	NA	Good
3.19	Plumbing & Drainage	Common WC. Individual bathrooms and kitchens. G+1 toilets added later	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Addition of R.C.C Toilet Block right after then main entrance door.		
3.22	Overall Maintenance Status	Good. But there are a few structural problems that need immediate attention. Demolished when surveyed (May 2013)		
3.23	Overall Condition	-		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Parmar Wada Premises on the East
4.02	Overall Problems & Threats	Since the property is rented, and the rents are low, the upkeep of such buildings become financially problematic. The overall property shows an intent of good upkeep but surely larger problems in the form of structural deterioration are left largely unattended, mostly due to lack of funds.
4.03	Additional Notes	The Rotary club of Pen meets here. Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad. District Gazettee Raigad Jilha - Ghanekar P.K. Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpubli
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist, Pen

Images



Image Title: Parmar Wada
Image Type: Top-View
Reference: Ornate cast iron brackets



Image Title: Parmar Wada
Image Type: Front-View
Reference: Panoramic view from the internal courtyard

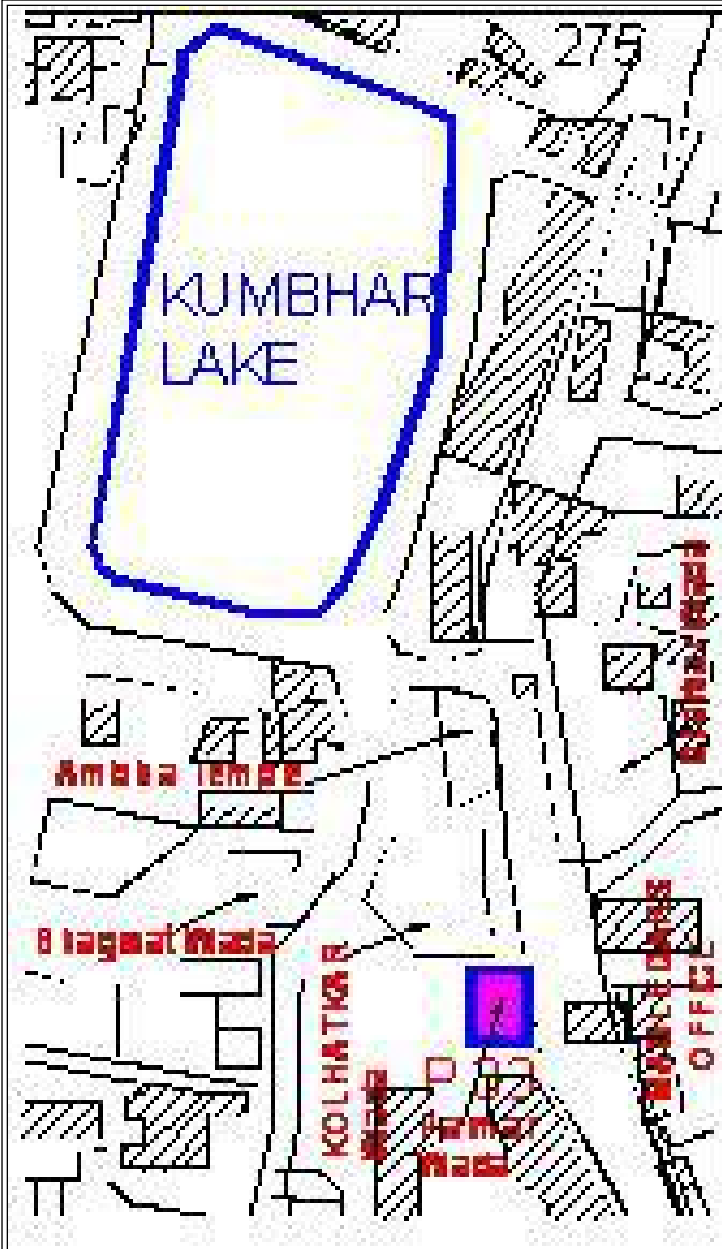


Image Title: Parmar Wada
Image Type: Front-View
Reference: Panoramic view from the internal courtyard



Image Title: Parmar Wada
Image Type: Top-View
Reference: View revealing the timber construction of the building



Image Title: Parmar Wada
Image Type: Top-View
Reference: Small addition like this safety mesh done at a later date



Image Title: Parmar Wada
Image Type: Top-View
Reference: Small addition like this safety mesh done at a later date



Image Title: Parmar Wada
Image Type: Front-View
Reference: Board announcing the wada as a venue of the rotary club of pen



Image Title: Parmar Wada
Image Type: Top-View
Reference: Timber stairs and floor



Image Title: Parmar Wada
 Image Type: Top-View
 Reference: Detail of roof showing a teracota vent.



Image Title: Parmar Wada
 Image Type: Front-View
 Reference: Edge of the verandah showing detail of the flog stone paving



Image Title: Parmar Wada
Image Type: Front-View
Reference: Ornate fountain in the internal courtyard



Image Title: Parmar Wada
Image Type: Front-View
Reference: Ornate fountain in the internal courtyard



Image Title: Parmar Wada
Image Type: Top-View
Reference: Detail of the roof



Image Title: Parmar Wada
Image Type: Top-View
Reference: cowl/ vent in terracota fixed in the mangalore tile roof



Image Title: Parmar Wada
Image Type: Top-View
Reference: View from internal courtyard



Image Title: Parmar Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: Parmar Wada
Image Type: Top-View
Reference: Rain water damage to the verandah roof

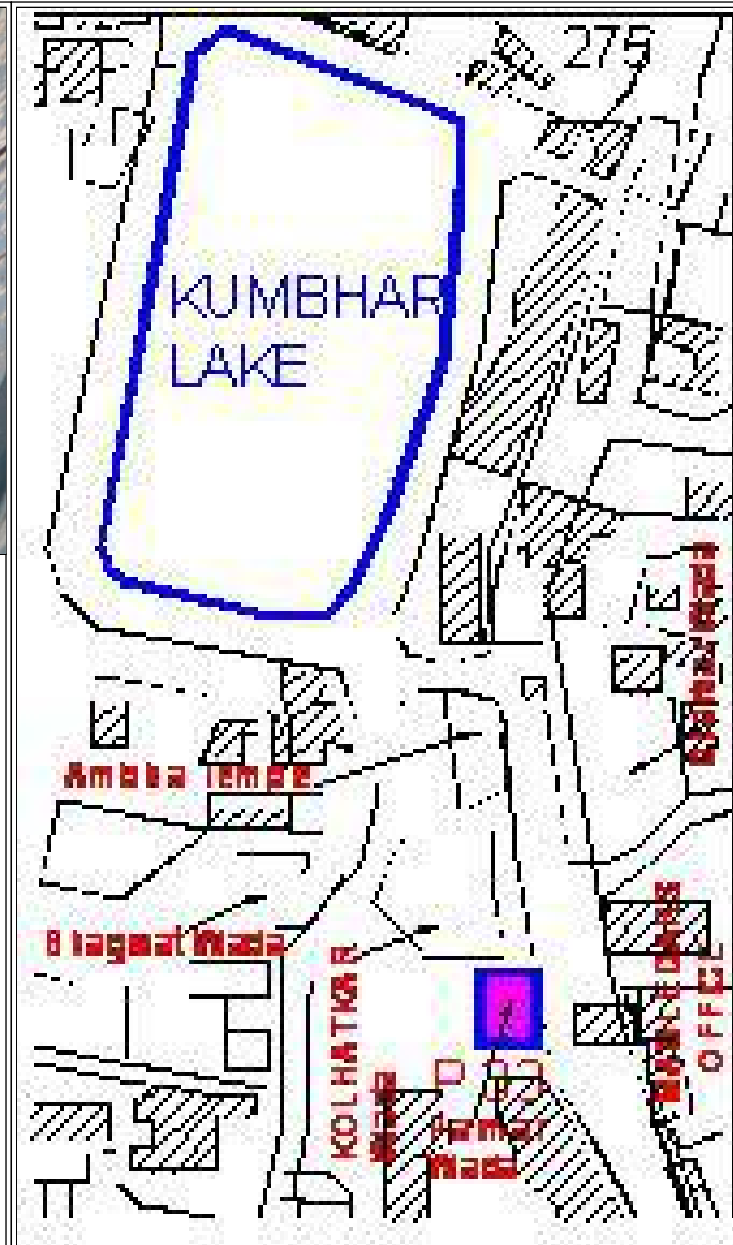


Image Title: location plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Parmar Wada
Image Type: Top-View
Reference: Deteriorating Plaster

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Tilak Wada 1

BASIC DETAIL

1.1	Premise Name	Tilak Wada 1
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	18
	Village	Pen
	Identification	Tilak Wada
1.03	Internal Reference Number	
1.04	CS No	1387
1.05	Street Name 1	Mandlik Road
1.06	Street Name 2	
1.07	Area / Locality	Manohar Chawl, More Wada
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Anant Vishwanath Tilak and others
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential and Library
1.14	Type of Use	Mixed
1.15	Age	117 Years
1.16	Plot Area (sq.mt)	1210 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IIA
1.20	Brief Detail	Typical example of the residential typology (without a central courtyard) found in the region with colonial elements typical of the period.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	1895 CE
2.02	Extensions/ Modifications in	no record available
2.03	Extensions/ Modifications Details	changes in the interior, structural repairs to floors, enclosing semi open spaces. It appears that walls and windows perpendicular to the streets have been added enclosing balconies with chhajjas windows etc.
2.04	Earlier Name(s)	Tilak Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	This wada was visited by Lokmanya Tilak as it was connected to his family.
2.07	Cultural Significance	Represents the lifestyle of the period and the changes due to western influences in the ways of living and building.
2.08	Architectural Significance	It is a G+2 structure with a timber frame and brick loadbearing walls with a pitched roof. Large building surviving from the 20th century. Despite its modifications, it gives a good idea of the residential architecture of this period, few examples of which survive now.
2.09	Townscape Significance	Landmark Value since it is well known.
2.10	Other Significance	Important cultural Institution (Library)
2.11	Value Classification	A(arc)
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	max @ 34-35 feet		
3.02	No. of Floors	Ground + 1 Upper. One part has G + 2 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with loadbearing brick walls	No apparent problem but timber members need to be closely checked for strength.	Good
3.04	Plinth	Ashlar Basalt Stone	None	Good
3.05	Walls	Ashlar basalt stone for ground level, plastered brick on first and second floor, Timber columns for balconies with cast iron railings. Street facade on the Ground floor is modified	Some water seepage problem seen	Minor Repair
3.06	Floors	Shahbad slab flooring. Timber beam on First floor	Slight bending of floor beams of the first floor	Good
3.07	Stairs	Timber	Fair	Minor Repair
3.08	Openings	Panelled timber shutters with grill for windows, Panelled timber shutters for doors, First floor verandah supported on timber beams and brackets	None	Good
3.09	Roof	Manglore tile roofing on corrugated GI sheet over timber rafters	Rainwater leakages, Soffit and eaves damaged	Good
3.10	Articulation	Woodwork is simple and plain with only a slight ornamental shape to the brackets and beam heads. First floor doors have semicircular fan lights. Balcony has a decorative cast iron railing.	Railing pieces are missing, glass panes of fan lights are broken, ground floor has new windows and RCC grills altering and marring the original character of the building.	Minor Repair
3.11	Finishes	Plaster and paint to brick walls, Shahbad slab flooring	Discolouration, Moss and fungal growth on walls, Stone work painted over	Minor Repair
3.12	Furniture	Not surveyed	NA	-
3.13	Compound/Fence/Gate	Building abuts street, Part of dilapidated compound wall seen	dilapidated	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	Side margin	Not maintained	Minor Repair
3.15	Lighting	Natural through openings / court + artificial, Fan lights on doors	windows added on the external side wall	Good
3.16	Ventilation	Natural through windows and doors supplemented with fans	bad quality new windows and RCC grills	Minor Repair
3.17	Electricity	Introduced at a later date	Random, old and open wiring	Minor Repair
3.18	Water Supply	Yes	NA	Good
3.19	Plumbing & Drainage	Septic Tank	water seepage	Minor Repair

3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Ground floor and part of first floor verandah enclosed with in-congruent materials.		
3.22	Overall Maintenance Status	Fair		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Limaye Wada Premises on the North.
4.02	Overall Problems & Threats	Negligence, Road widening and increasing traffic
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist, Pen

Images



Image Title: Tilak Wada
Image Type: Top-View
Reference: Detail of eaves board



Image Title: Tilak Wada
Image Type: Side-View1
Reference: Street view of tilak wada



Image Title: Tilak Wada
Image Type: Side-View1
Reference: Street view of Tilak Wada



Image Title: Tilak Wada
Image Type: Top-View
Reference: View of the first floor Verandah



Image Title: Tilak Wada
Image Type: Front-View
Reference: Street view of Tilak Wada



Image Title: Tilak Wada
Image Type: Front-View
Reference: Entrance of the wada

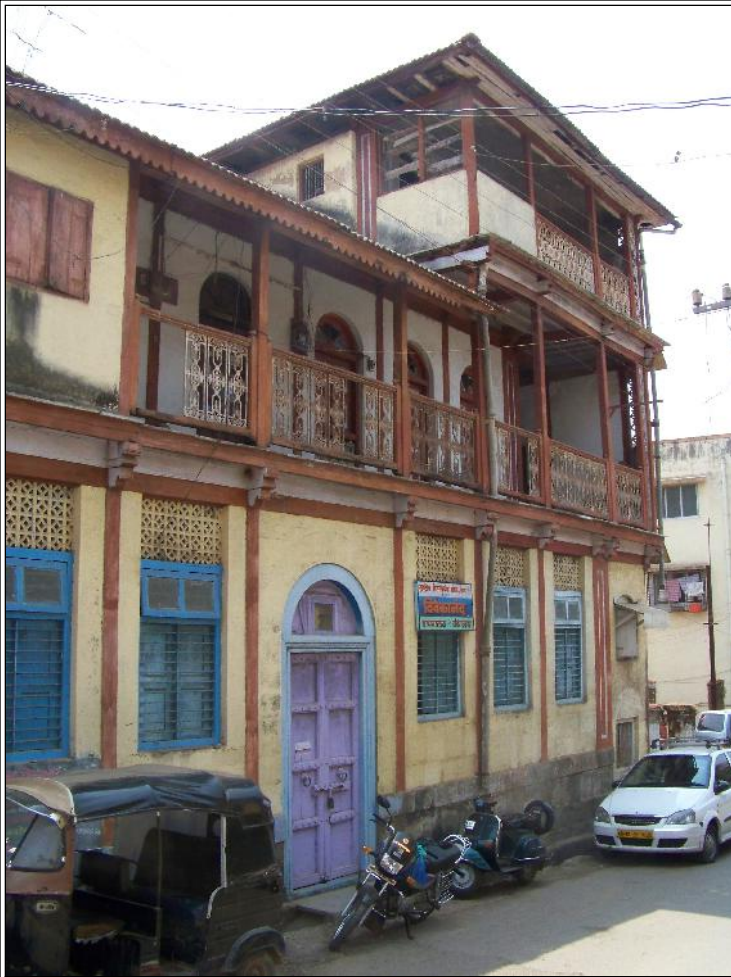


Image Title: Tilak Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: Tilak Wada
Image Type: Front-View
Reference: Windows on Ground Floor added later



Image Title: Tilak Wada
Image Type: Front-View
Reference: Windows on Ground Floor added later



Image Title: Tilak Wada
Image Type: Front-View
Reference: Street view of Tilak Wada



Image Title: location plan
Image Type: Topographic-Map
Reference: Location map

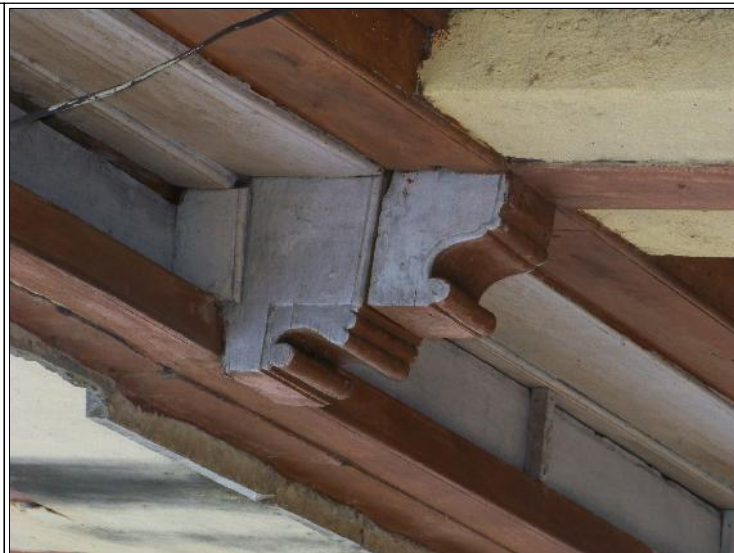


Image Title: Tilak Wada
Image Type: Top-View
Reference: Detail of a timber bracket on the street facade



Image Title: Tilak Wada

Image Type: Front-View

Reference: Old plaque indicating the home number

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Tilak Wada 2

BASIC DETAIL

1.1	Premise Name	Tilak Wada 2
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Tilak House
1.03	Internal Reference Number	
1.04	CS No	1370-1373
1.05	Street Name 1	Mahadik Path,
1.06	Street Name 2	Hanuman Aali
1.07	Area / Locality	Chavdi Naka
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Smt. Satyabhamabai Damoder Tilak
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	more than 100 Years
1.16	Plot Area (sq.mt)	716.5 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IIA
1.20	Brief Detail	Unique variation on traditional regional typology. Exceptionally good woodwork. Scale.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	Late 19th or early 20th Century
2.02	Extensions/ Modifications in	not available
2.03	Extensions/ Modifications Details	A portion of the first floor verandah enclosed, Corrugated GI sheet covered shed in front of the house added
2.04	Earlier Name(s)	Tilak House
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	NA
2.07	Cultural Significance	A reflection of a society in flux accepting foreign elements and practices though holding on to a general traditional way of living and building.
2.08	Architectural Significance	It is a G+1 structure with timber frame and load bearing brick walls with a pitched roof. An example of a typical traditional typology but with features of colonial architecture. It has some excellent woodwork detailing and carving not very typical of the region.
2.09	Townscape Significance	It is a part of a coherent streetscape with houses of similar type, material and scale.
2.10	Other Significance	NA
2.11	Value Classification	A(arc)
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	@ 30-32 feet		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with loadbearing brick walls	Uneven settlement in rear portion, deterioration of timber structural members	Major Repair
3.04	Plinth	Basalt Ashlar Masonry	Uneven settlement, stone chipping off at some points	Major Repair
3.05	Walls	Brick plastered painted, Timber columns with decorated capitals on GF, timber verandah and balcony on first floor	Signs of uneven settlement at backside, Rotting and sagging of timber	Major Repair
3.06	Floors	Timber, Mud + cow dung plaster flooring at ground floor	Sagging of timber members	Minor Repair
3.07	Stairs	Stone steps for entry, timber stairs	Fair	Good
3.08	Openings	Panelled timber shutters with fan lights topped with a keystone motif on FF, main door on GF with a very ornate wooden door frame	Rusting of MS members of window grills. Weathering of secondary timber elements due to lack of maintenance.	Minor Repair
3.09	Roof	Hipped roof with Mangalore tiles on timber rafters	sagging of some timber members, repairs to eaves board and gutter	Minor Repair
3.10	Articulation	Timber columns on GF front verandah fashioned like European Classical stone columns with rounded base, flutings and rounded capital that receives a very Indian timber carved bracket and medallion. Ornamental relief stucco work on FF walls, Elaborate main door, Painted wall panels. Delicately carved eaves board.	additions mar the appearance of original features, need maintenance, wall paint is deteriorating due to lack of care	Minor Repair
3.11	Finishes	Painted walls, flooring tiles added later	discolouration	Minor Repair
3.12	Furniture	Not surveyed	NA	-
3.13	Compound/Fence/Gate	Brick wall compound with intermediate piers with capitals. Piers flanking the pedestrian gate has a niche each. A roofed gate on one end for a vehicle to come in, perhaps a later addition.	needs maintenance	Minor Repair
3.14	Curtilage / unbuilt / space /out buildings / landscape	Store and outbuildings added later @ 40 years ago, well, Front yard with domestic plants, narrow side margins	needs repairs	Minor Repair
3.15	Lighting	Natural through openings and fan lights, supplemented by artificial lights	Fair	Good
3.16	Ventilation	Through windows supplemented with fans.	though ceilings are tall, fans installed now	-
3.17	Electricity	Added later	Casing Capping running all over walls and timber members without regards to aesthetics.	Minor Repair
3.18	Water Supply	Well	Fair	-

3.19	Plumbing & Drainage	Septic Tank	Fair	-
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Parking shed added in the front of the house. Part of first floor verandah enclosed with steel mesh.		
3.22	Overall Maintenance Status	Poor		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Tilak Wada 2 Premises on the North.
4.02	Overall Problems & Threats	Overall condition is of lack of maintenance despite some excellent ornamental features.
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist - Pen

A photograph of a stone pillar with a decorative carved band and a wooden door with handwritten text. The pillar is made of light-colored stone and features a band of intricate carvings. To the right is a wooden door with handwritten text in various colors. The text includes 'T4P52', 'T4P58', 'T4P59', 'T4P60', 'T4P61', 'T4P62', 'T4P63', 'T4P64', 'T4P65', 'T4P66', 'T4P67', 'T4P68', 'T4P69', 'T4P70', 'T4P71', 'T4P72', 'T4P73', 'T4P74', 'T4P75', 'T4P76', 'T4P77', 'T4P78', 'T4P79', 'T4P80', 'T4P81', 'T4P82', 'T4P83', 'T4P84', 'T4P85', 'T4P86', 'T4P87', 'T4P88', 'T4P89', 'T4P90', 'T4P91', 'T4P92', 'T4P93', 'T4P94', 'T4P95', 'T4P96', 'T4P97', 'T4P98', 'T4P99', 'T4P100'. The door is made of dark wood and has a metal latch. The pillar is set in a stone base. The background is a plain wall.

Image Title: Tilak Wada
Image Type: Front-View
Reference: Detail of column base



Image Title: Tilak Wada
Image Type: Top-View
Reference: View of the first floor verandah

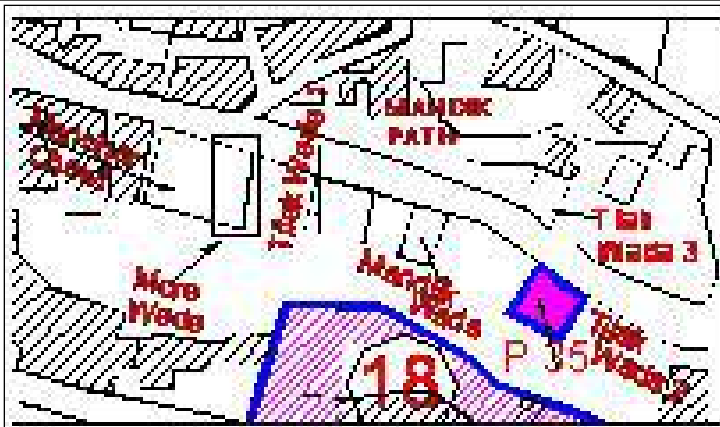


Image Title: location plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Tilak Wada
Image Type: Front-View
Reference: Subsidiary door fronting the street

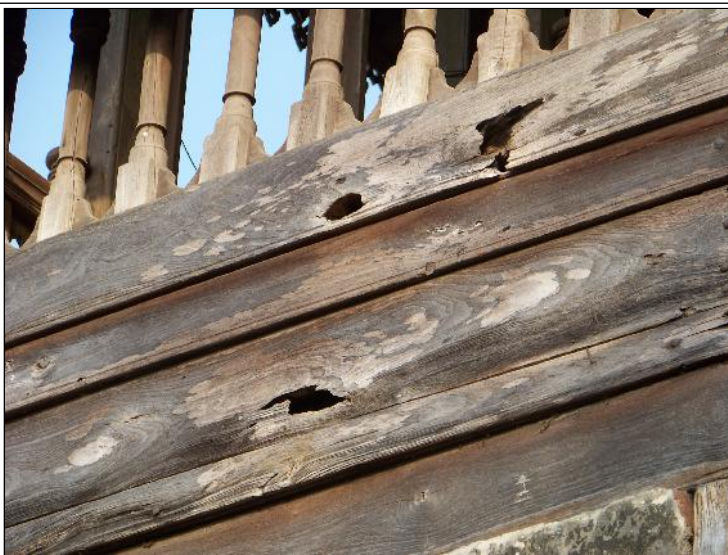


Image Title: Tilak Wada
Image Type: Top-View
Reference: Deteriorating woodwork



Image Title: Tilak Wada
Image Type: Top-View
Reference: Detail of column capital of timber column of the Ground Floor front Verandah.



Image Title: Tilak Wada
Image Type: Top-View
Reference: Medallion on the beam end in carved timber



Image Title: Tilak Wada
Image Type: Top-View
Reference: Detail of the Column of the Ground Floor Front Verandah



Image Title: Tilak Wada
Image Type: Front-View
Reference: Detail of the Plinth



Image Title: Tilak Wada
Image Type: Front-View
Reference: Deteriorating woodwork



Image Title: Tilak Wada
Image Type: Top-View
Reference: Side view of the wada



Image Title: Tilak Wada
Image Type: Top-View
Reference: Detail of main door



Image Title: Tilak Wada
Image Type: Front-View
Reference: Main entrance to the house



Image Title: Tilak Wada
Image Type: Front-View
Reference: Ornately carved door frame in timber



Image Title: Tilak Wada
Image Type: Top-View
Reference: Detail of Eaves Board



Image Title: Tilak Wada
Image Type: Top-View
Reference: View from the Ground Floor Verandah



Image Title: Tilak Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: Tilak Wada
Image Type: Front-View
Reference: Detail of timber ornament



Image Title: Tilak Wada
Image Type: Top-View
Reference: Roof from the underside



Image Title: Tilak Wada
Image Type: Front-View
Reference: Detail of wooden balusters and column capital



Image Title: Tilak Wada

Image Type: Top-View

Reference: Detail of column capital of the front verandah on
Ground Floor

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Tilak Wada 3

BASIC DETAIL

1.1	Premise Name	Tilak Wada 3
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Tilak Wada 3
1.03	Internal Reference Number	
1.04	CS No	1330 - 1331
1.05	Street Name 1	Hanuman Aali
1.06	Street Name 2	
1.07	Area / Locality	Near Mandlik Wada
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Usha Aniruddha Tilak and Others
1.11	Type of Owner	Private
1.12	Type of Occupancy	Owner occupied
1.13	Current Use	Residential
1.14	Type of Use	Residential
1.15	Age	Early 20th Century
1.16	Plot Area (sq.mt)	471.6 Sq. Mtr
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IIA
1.20	Brief Detail	Variation on regional typology, Scale.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	Early 20th century
2.02	Extensions/ Modifications in	not available
2.03	Extensions/ Modifications Details	Balcony supports; Presently undergoing repairs and renovation
2.04	Earlier Name(s)	Tilak Wada
2.05	Earlier Use(s)	Residential

2.06	Historical Significance	NA
2.07	Cultural Significance	Turn of the century house. Shows a mix of traditional house in this area and colonial influences.
2.08	Architectural Significance	A G+1 structure with timber frame verandah on ground and first floor. The main structure is constructed from brick load bearing walls. A good example of a building type that is a mixture of indigenous and colonial elements.
2.09	Townscape Significance	The street is dotted with buildings similar in age, scale and type thereby giving the streetscape a particular old age character and charm.
2.10	Other Significance	NA
2.11	Value Classification	A(arc)
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Load bearing with brick walls and timber floor and roof.	timber is sagging and shows distress at many places	Minor Repair
3.04	Plinth	Basalt ashlar masonry	No major problem	Good
3.05	Walls	Brick plastered painted.	Water seepage and fungal growth	Minor Repair
3.06	Floors	Shahbad stone flooring on ground floor. timber floor with shahbad stone on First floor.	Cracking and sagging of Timber members, Decay at balcony. Balcony supports added later. Ground fl columns of shopfront seem a later replacement of the original	Major Repair
3.07	Stairs	Stone steps for entry,timber stairs to first floor	No major problem	Good
3.08	Openings	Panel timber shutters with iron grill for windows and doors, Ground storey shop has folding timber plank doors with grilled ventilator on the top.	Rusting of iron members	Minor Repair
3.09	Roof	Mangalore tiles on Timber truss and rafters Timber False ceiling to first floor balcony / terrace.	Repairs ongoing	Good
3.10	Articulation	Timber railing to balcony, infill panel between timber columns on street side of ground and first floor. Doors with fan lights, stucco work around first floor balcony doors and a pronounced cornice indicating the floor division on the exterior wall.	Timber work needs maintenance and repair	Minor Repair
3.11	Finishes	Plastered painted	Moss and fungal growth on walls. discolouration	Minor Repair
3.12	Furniture	Not surveyed	NA	-
3.13	Compound/Fence/Gate	Building abuts the street	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Courtyard, behind street facing building entacted through a timber grill door at one corner	NA	-
3.15	Lighting	Natural through window openings / court	NA	Good
3.16	Ventilation	Natural through windows and Electric fans	NA	Good
3.17	Electricity	Added later	Exposed wiring on wooden battens	Minor Repair
3.18	Water Supply	NA	NA	Good
3.19	Plumbing & Drainage	Septic tank for sewage. Sullage discharged to open drains along roads	Adequate.	Minor Repair

3.20	Other(Fire protection, HVAC, Security etc)	Not provided	NA	-
3.21	Incongruent Transformation	Toilet, Parking shed added, chajjas to windows added. RCC supports added to balcony on first floor.		
3.22	Overall Maintenance Status	Needs repair		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Tilak Wada Premises on the South.
4.02	Overall Problems & Threats	Structure has problems with structural timber members. Though, at the time of the survey, repairs to the roof were taking place, the floors also is in need of urgent repairs.
4.03	Additional Notes	Residential buildings undergo changes due to change in family size, income and also subdivision of property. It needs to be ensured that these changes do not compromise on the heritage value of the building.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist, Pen.

Images



Image Title: Tilak Wada
Image Type: Front-View
Reference: Deterioration due to water seepage



Image Title: Tilak Wada
Image Type: Front-View
Reference: Detail of woodwork



Image Title: Tilak Wada
Image Type: Front-View
Reference: Detail of wood work and the roof seen while laying the roof tiles



Image Title: Tilak Wada
Image Type: Side-View1
Reference: temporary support to the upper floor



Image Title: Tilak Wada
Image Type: Rear-View
Reference: Side view of the wada



Image Title: Tilak Wada
Image Type: Front-View
Reference: Entrance gate of the wada



Image Title: Tilak Wada
Image Type: Front-View
Reference: Street view of the wada



Image Title: location plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Tilak Wada
Image Type: Front-View
Reference: Unusual shaped column on the front of the wada



Image Title: Tilak Wada
Image Type: Side-View2
Reference: Stucco Details

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Vishweshwar Mandir

BASIC DETAIL

1.1	Premise Name	Vishweshwar Mandir
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	03
	Village	Pen
	Identification	Vishweshwar Mandir
1.03	Internal Reference Number	
1.04	CS No	301-303
1.05	Street Name 1	
1.06	Street Name 2	
1.07	Area / Locality	Nandimal Naka
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Dhanraj Jain
1.11	Type of Owner	Private
1.12	Type of Occupancy	Community Ownership
1.13	Current Use	Worship
1.14	Type of Use	Religious
1.15	Age	Old part may date @ 1830, but deity is older
1.16	Plot Area (sq.mt)	82.6 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	Deleted
1.20	Brief Detail	The original Mandir is supposed to be considerably old. Although the present fabric is new the religious associations are much older
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	Original date unknown. Renovated by Krishnaji Moreshwar Kolhatkar in 1837
2.02	Extensions/ Modifications in	1837. Latest modification date not known.
2.03	Extensions/ Modifications Details	1837: Stone garbhagriha built. Recent additions consist of an RCC mandap, cladding and painting
2.04	Earlier Name(s)	Vishweshwar Mandir
2.05	Earlier Use(s)	Worship

2.06	Historical Significance	The Mandir is said to be renovated by Kolhatkar in 1830. There is an inscription mentioning, 'Krishnaji Moreshwar Kolhatkar 1837'. (info: Arvind Date- pujari of the Mandir). Deity supposed to be very old.
2.07	Cultural Significance	Religious value, Community Mandir.
2.08	Architectural Significance	Old structure from the 19th century survives.
2.09	Townscape Significance	Out of the town location with its landscape and shrines.
2.10	Other Significance	There are idols and built remains in the surround that indicate that the site must have been in existence for a number of years.
2.11	Value Classification	A(his)
2.12	Recommended Grade	Deleted

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber loadbearing structure with brick walls	NA	Good
3.04	Plinth	Ashlar stone plinth	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.05	Walls	Stone walls for garbhagriha	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.06	Floors	Marble flooring for sabhamandap as well as garbhagriha	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.07	Stairs	Timber stairs	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.08	Openings	Garbhagriha : Solid timber door, sabhamandap, RCC arched openings	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.09	Roof	Mangalore tiles on timber rafters	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.10	Articulation	Articulated door lintel, aclove	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.11	Finishes	Paint	Heritage structure (stone garbhagriha) in good condition R.C.C structure in good condition	Good
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	None	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Prists quarters, small shirines and samadhiI	NA	Good
3.15	Lighting	Natural through openings / artificial	NA	Good
3.16	Ventilation	Yes	NA	Good
3.17	Electricity	NA	NA	-
3.18	Water Supply	NA	NA	-
3.19	Plumbing & Drainage	STP	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	NA		
3.22	Overall Maintenance Status	Good		

3.23	Overall Condition	Good
------	--------------------------	------

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential
4.02	Overall Problems & Threats	The pristine landscape around the lake may be conserved as a potential public space for future. Any new structures to be planned in sympathy with the natural surroundings.
4.03	Additional Notes	An important feature of the town, it should be guarded as a multipurpose public open space that is scarcely seen in modern development.
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad</p> <p>Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990.</p> <p>Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973.</p> <p>Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947.</p> <p>Dabu D G Kulabkar Angre Sarkhel.</p> <p>Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974.</p> <p>Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	NA
	Persons	NA

Images



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: Ganesh on the door lintel



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: Small shrine in the temple campus



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: Deity inside the temple



Image Title: location plan
Image Type: Topographic-Map
Reference: Location map



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: The renovated temple



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: Platform around a tree in the temple premises



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: The renovated temple



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: Diety inside the temple



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: Diety inside the temple



Image Title: Vishweshwar Mandir
Image Type: Front-View
Reference: Deepmal in the temple premises

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Ziral Ali Ganpati Mandir

BASIC DETAIL

1.1	Premise Name	Ziral Ali Ganpati Mandir
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	03
	Village	Pen
	Identification	Ziral Ali Ganpati Mandir
1.03	Internal Reference Number	
1.04	CS No	1148
1.05	Street Name 1	Ziral Ali
1.06	Street Name 2	
1.07	Area / Locality	Ziral Ali
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Laxman Vinayak Kolhatkar
1.11	Type of Owner	Private
1.12	Type of Occupancy	Mandir
1.13	Current Use	Worship
1.14	Type of Use	Religious
1.15	Age	@ 100 years
1.16	Plot Area (sq.mt)	260.9 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Excellent
1.19	Grade	III
1.20	Brief Detail	A late 19th Century temple typical of this region.
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	Late 19th Century
2.02	Extensions/ Modifications in	1898
2.03	Extensions/ Modifications Details	There is an inscription in the temple indicating the renovation of the temple in saka 1820 i.e. yr.1898
2.04	Earlier Name(s)	Ganpati Mandir (Ziral Ali)
2.05	Earlier Use(s)	Worship

2.06	Historical Significance	Temple constructed from contribution of local residents.
2.07	Cultural Significance	Religious
2.08	Architectural Significance	Representative of a Temple typology of a shrine enclosed in a double height hall with overlooking galleries that is specific to the region. These temples are characterised by a sloping roof without a typical temple spire. A small sanctum sanctorum with a diarunitive spire is housed inside this hall like building. Due to this feature, this type of temple has a residential visual character.
2.09	Townscape Significance	Serves as a significant landmark in the memory of the town.
2.10	Other Significance	NA
2.11	Value Classification	A(arc), A(his), A(cul)
2.12	Recommended Grade	III

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground + 1 Upper + 1/2		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber framed structure with part loadbearing brick walls	None to the structure	Good
3.04	Plinth	Basalt dressed masonry (Khandki)	NA	Good
3.05	Walls	Brick plastered painted Front wall on ground floor is only an iron grill of full height	NA	Good
3.06	Floors	Timber beams & Joists with tiles on top	NA	Good
3.07	Stairs	Timber stairs to Gallery.	NA	Good
3.08	Openings	Solid timber shutters with grill, front door has a decorative aloh and shutters.	NA	Good
3.09	Roof	Mangalore tiles on timber purlins & refere	NA	Good
3.10	Articulation	Decorative timber brackets, arched door way. Timber pendants at corness of roof eaves.	Any desire for using "New" material can possibly be at the cost at disfiguring the ambiance.	Good
3.11	Finishes	Plastered painted walls painted iron work.	NA	Good
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	NA	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	NA	NA	-
3.15	Lighting	Natural through openings especially the grilled open front / Artificial from electric lamps	NA	Good
3.16	Ventilation	Double height of the Mandap and open front wall ensure good ventillation. Now electric fans are also installed	NA	Good
3.17	Electricity	Yes, New introduction.	NA	Good
3.18	Water Supply	NA	NA	-
3.19	Plumbing & Drainage	No	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	NA		

3.22	Overall Maintenance Status	Very good
3.23	Overall Condition	Excellent

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential. Street abuts the Ziral Aali Ganpati Mandir Premises on the East.
4.02	Overall Problems & Threats	NA
4.03	Additional Notes	Generally for temples, insensitive renovations or "Jeernoddhars" are always a threat.
4.04	References	
	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist, Pen

Images

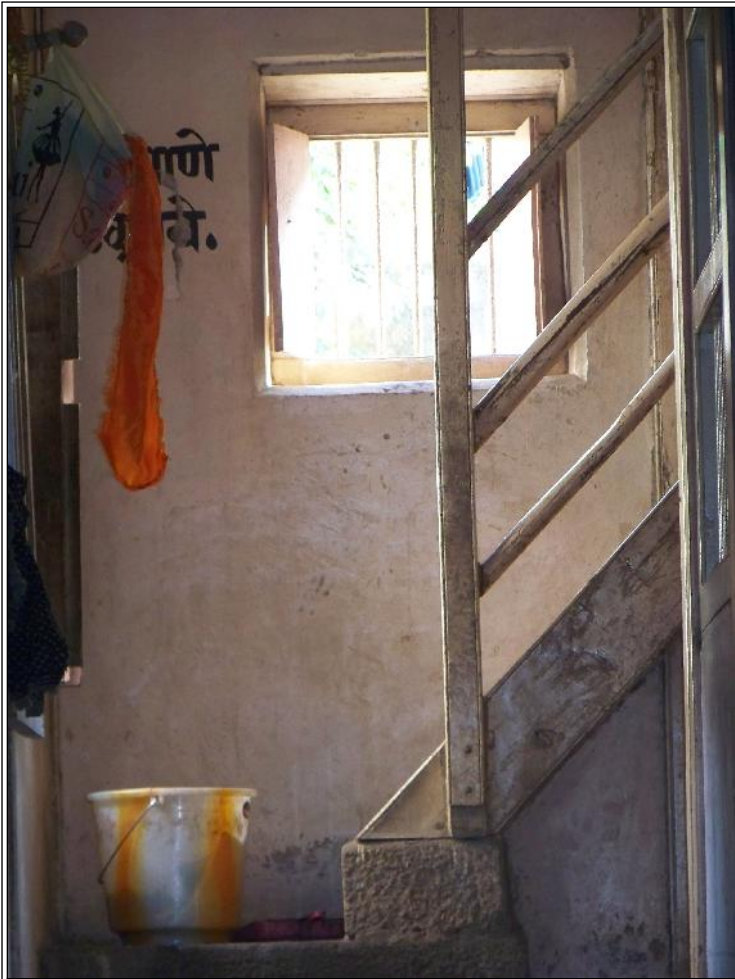


Image Title: Ziral Ali Ganpati Mandir
Image Type: Front-View
Reference: Detail of stairs



Image Title: Ziral Ali Ganpati Mandir
Image Type: Top-View
Reference: Corner brackets of the exterior facade of the temple



Image Title: Ziral Ali Ganpati Mandir
Image Type: Front-View
Reference: Street View of the temple



Image Title: location plan
Image Type: Topographic-Map
Reference: location plan



Image Title: Ziral Ali Ganpati Mandir
Image Type: Top-View
Reference: Interior view of the temple



Image Title: Ziral Ali Ganpati Mandir
Image Type: Front-View
Reference: Street View of the temple

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Tipecha Maruti Mandir

BASIC DETAIL

1.1	Premise Name	Tipecha Maruti Mandir
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Tipecha Maruti Mandir
1.03	Internal Reference Number	
1.04	CS No	1549
1.05	Street Name 1	Pen Khopoli Road, Chawadi Naka
1.06	Street Name 2	Kasar Aali
1.07	Area / Locality	Mahakali Mandir
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Mr. Jaywant Gurav
1.11	Type of Owner	Private
1.12	Type of Occupancy	Mandir
1.13	Current Use	Religious
1.14	Type of Use	Amenity
1.15	Age	NA
1.16	Plot Area (sq.mt)	NA
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	IIA
1.20	Brief Detail	Origins of the idol supposed to be tracable to Saint Ramdas. Variation on the typical Maruti Mandir in the region. Part of larger Mandir precinct.
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	NA
2.02	Extensions/ Modifications in	NA
2.03	Extensions/ Modifications Details	Complex has been extended by a metal with tin picket fence on road side structure and roof to cover hardscape elements like par etc. are present. The surrounding space as a sabhamandap.
2.04	Earlier Name(s)	Tipecha Maruti Mandir
2.05	Earlier Use(s)	Worship

2.06	Historical Significance	Next to the Mandir there is a staircase with an inscription stating saka 1820, i.e. year 1898.
2.07	Cultural Significance	Part of group of Mandir identified as Tipecha Maruti Mandir, said to have been ceremoniously installed by Samartha Ramdas.
2.08	Architectural Significance	It is a simple stone structure with a domical roof supported on & arches on 4 sides of the structure.
2.09	Townscape Significance	Part of Mandir Triad as old as town of Pen. Usually Hanuman temple indicate the boundry of the town.
2.10	Other Significance	NA
2.11	Value Classification	A(arc),A(his),A(cul),G(grp)
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	Ground +1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Stone Loadbearing	NA	Good
3.04	Plinth	Basalt fine dressed masonry with upper and lower level articulation.	Slight uneven settlement seen	Good
3.05	Walls	Basalt fine dressed masonry forming four arches are on each side, with an infill stone wall	NA	Good
3.06	Floors	Natural Stone Flooring	Shahbad floor under new shed	Good
3.07	Stairs	None	NA	-
3.08	Openings	Solid timber door in Stone Arch Fine woodwork for columns and entrance arch newly added metal shutter	NA	Good
3.09	Roof	Stone Dome with pendentive and arches Varandha Covered in GI sheet roofing	NA	Good
3.10	Articulation	Plinth, cornice and arches are articulated small panels with figurines on the spandrels of each side.	NA	Good
3.11	Finishes	Painted	NA	Good
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	Brick compound wall with MS gate added later. Picket fence on road side	NA	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	The temple sits on a high ground @ 10' from the road, stone retaining wells from the ground to receive the temple. A wide flight of steps of dressed stone @ 20 in number, leads to the open ground from where the temple is accessed. A marble plaque on the retaining wall says that the walls and steps were built through a donation by Chi Ra. Laxman Ballal Joshi in Shake 1820. Two elephants made from cement concrete have been added at a much later date.	NA	-
3.15	Lighting	Natural through openings	NA	Good
3.16	Ventilation	Natural through openings	NA	Good
3.17	Electricity	Yes	NA	Good
3.18	Water Supply	NA	NA	-
3.19	Plumbing & Drainage	Yes	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	NA	NA	-
3.21	Incongruent Transformation	Paint over stone structure, shed.		

3.22	Overall Maintenance Status	Good
3.23	Overall Condition	Good

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential. The street abuts the Tipecha Maruti Mandir Premises on the West.
4.02	Overall Problems & Threats	Except the tin shade area and around the mandir, the complex is without any major threats.
4.03	Additional Notes	Jeernodhar or Renovation attempts through wall meaning should be scrutinised for keeping the integrity and character of the original temple intact.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture.
	WebSites	NA
	Persons	Mr. Bairagi, Ex-Journalist - Pen. Pujari at temple.

Images



Image Title: Tipecha Maruti Mandir
Image Type: Front-View
Reference: Internal view of the temple



Image Title: Tipecha Maruti Mandir
Image Type: Front-View
Reference: View of the Maruti Temple



Image Title: Tipecha Maruti Mandir
Image Type: Front-View
Reference: Diety inside the temple



Image Title: Tipecha Maruti Mandir
Image Type: Front-View
Reference: View of the Maruti Temple



Image Title: Tipecha Maruti Mandir
Image Type: Front-View
Reference: Side view of the temple

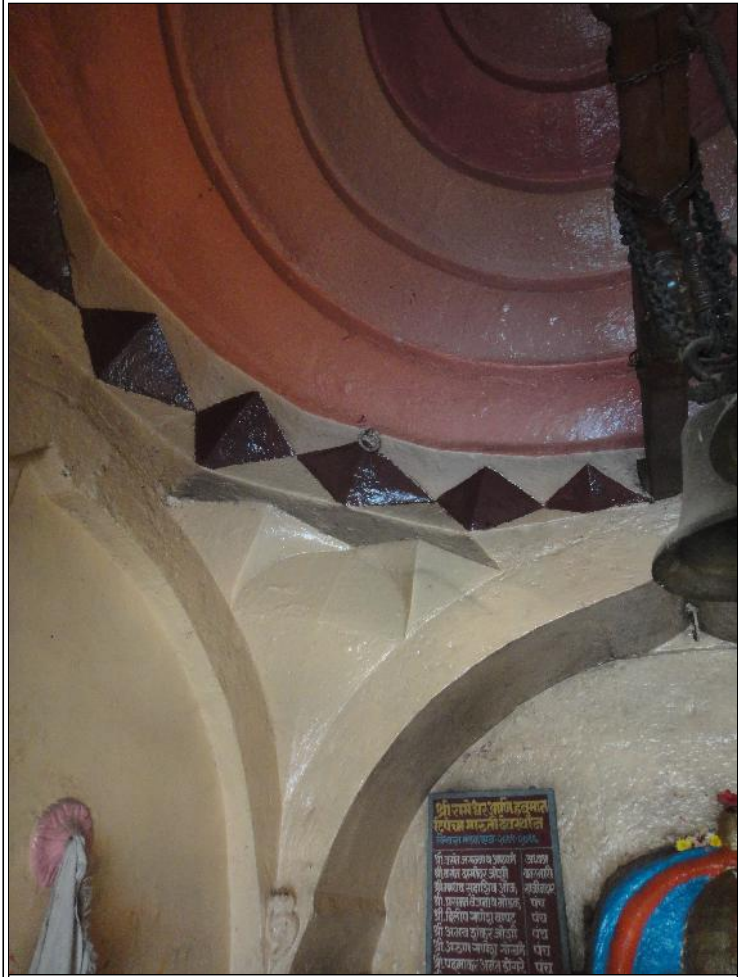


Image Title: Tipecha Maruti Mandir
Image Type: Front-View
Reference: Internal view of the temple



Image Title: Tipecha Maruti Mandir
Image Type: Front-View
Reference: View of the Maruti Temple

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Rameshwar Mandir

BASIC DETAIL

1.1	Premise Name	Rameshwar Mandir
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	10
	Village	Pen
	Identification	Rameshwar Mandir
1.03	Internal Reference Number	
1.04	CS No	1546
1.05	Street Name 1	Deodhar Path
1.06	Street Name 2	Kasar Aali,
1.07	Area / Locality	Tipecha Maruti
1.08	Nearby landmark if any	Tipecha Maruti Mandir
1.09	Pin Code	402107
1.10	Current Owner	Shree Rameshwar Devasthan Pen (Mr. Shankar Keshav Joshi)
1.11	Type of Owner	Private
1.12	Type of Occupancy	Mandir
1.13	Current Use	Mandir and Social Functions
1.14	Type of Use	Religious
1.15	Age	@ 350 years
1.16	Plot Area (sq.mt)	1045.2 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	I
1.20	Brief Detail	Old Mandir incrementally grown over time showing characteristics of each period. Part of Tipecha Maruti precinct. Displays a stone inscription of antiquity on its plinth. Lithographs of Raja Ravi Verma's paintings adorn the Mandap (hall).
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	1758 CE
2.02	Extensions/ Modifications in	Many modifications over time but dates not available
2.03	Extensions/ Modifications Details	Modification of Girbhagriha, Addition of two successive sabhamandapas, first one in stone and second wooden pillared Sabhamandapa, MS shade mandap added on the North side and 2.5 mtr. east toilets added on east.
2.04	Earlier Name(s)	Shri Dandeshwar (as per stone engraving)
2.05	Earlier Use(s)	Religious, worship

2.06	Historical Significance	There is an inscription at the entrance of the Mandir, on the western wall, mentioning saka 1680, i.e. yr.1758.
2.07	Cultural Significance	The Mandir of Rameshwar has three deities viz Rameshwar, Durga and the recently installed Ram Laxman and Maruti. Durga is the Gramadaivata of Pen. Mandir forms a cultural center for Pen along with other two adjacent Mandir of Hanuman and Mahalaxmi. It is a part of Tipecha maruti group of Mandir. There are many occasions of religious and social significance that are publicly celebrated here.
2.08	Architectural Significance	The Mandir is broadly divisible into two parts- one built in stone and the other that is a wooden mandap. The one in the dressed stone masonry is the older of the two. A close look at the plan and its form suggests that there is an addition to the original plan of the Mandir. A conventional Mandir plan would have the main sanctum sanctorum on the central axis of the Mandir. This would be topped with a spire resulting in an overall symmetrical form. But this mandir shows an additional sanctum sanctorum to the right side of the main deity, complete with its own spire. This structure, though perfectly matching the original structure in material and style gives the Mandir a uniqueness due to the presence of a second deity inside the main mandir and the resultant form of the Mandir. The third major phase of addition comes in the form of the wooden hall- the sabhamandap- in front of the stone structure. Though the stone Mandir has its own hall, this additional hall must have been built during late 19th Century CE in keeping with the trend of those times observed in many Mandir in this region as also some years earlier in Pune. The mandap shows all features of this period viz a wooden pillared hall with infills of panel arches, a sloping roof and a chequered Kadappah and Tandoor stone flooring.
2.09	Townscape Significance	Part of group of three Mandir with a sizable open space in between. It makes an important landmark for the town and a public open space used for various occasions.
2.10	Other Significance	The campus has an octagonal stone masonry well. There are a couple of mature trees that have religious significance. The main shrine is older and therefore more significant as compared to the later additions.
2.11	Value Classification	A(arc),A(his),A(cul),B(des),G(grp)
2.12	Recommended Grade	I

PHYSICAL CHARACTERISTICS

3.01	Height	@35 to 40 Feet		
3.02	No. of Floors	Ground (Mandap portion has an upper storey)		
		Description	Problem/Threat	Condition
3.03	Structural System	Stone load bearing for the main shrine and wooden frame for the Mandap part	Uneven settlements	Major Repair
3.04	Plinth	Basalt fine dressed Ashlar masonry	Signs of settlement	Major Repair
3.05	Walls	Dressed stone for Garbha griha and plastered bricks walls for Sabhamandap with Timber columns	NA	Minor Repair
3.06	Floors	Ground floor with Diamond pattern stone flooring, Timber joists beam with stone tiles on top at Sabhamandap Balcony	Cracks, buckling of timber members	Minor Repair
3.07	Stairs	Timber Doglegged.	No Major Problems	Good
3.08	Openings	Stone Jali for Garbhagriha, Tall wooden openings with round iron bar grill for Sabhamandap Clear stray light to mandap	No Major Problems	Good
3.09	Roof	Brick Shikhara with lime stucco work over stone dome with squinches for Garbhagriha, wooden rafter, covered with Mangalore tiles for Sabhamandap	Stress in some timber members	Minor Repair
3.10	Articulation	Stone temple plain exterior with a distinct plinth, spire with stellate plan and short pinnacles stylistically similar to Bijapuri Guldasta Pinnacles restrained articulation of the door frame. Mandap: Cusped Arches in wood. Low balusters surrounding the central portion of the mandap defining the seating / main usable area. False ceiling of timber planks with a carved central motif.	Paint over stone Masonry may harm the structure infinite panel, base articulation in binds.	Minor Repair

3.11	Finishes	Stone structure now painted. Sabhamandap plastered and painted. Diamond Pattern Flooring in the Mandap.	No Major Problems	Good
3.12	Furniture	Lithographs of Raja Ravi Verma's paintings adorn the Mandap. There are old light fixtures (Handi) in the Sabhamandap.	The prints as well as the light fixtures are not cared for.	Minor Repair
3.13	Compound/Fence/Gate	None	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Open space around. Part of the open space on one side covered with a tin roof.	Incongruent addition	Major Repair
3.15	Lighting	Natural through openings	No Major Problems	Good
3.16	Ventilation	Natural through openings	No Major Problems	Good
3.17	Electricity	Introduced later	Insensitively done cabling	Minor Repair
3.18	Water Supply	The water connection in the temple not within the temple but for the space adjacent to it. There is also a well next to the temple	No Major Problems	-
3.19	Plumbing & Drainage	Yes	Water seepage from the tin covered area May be problematic.	Minor Repair
3.20	Other(Fire protection, HVAC, Security etc)	Not Provided	Not Provided	-
3.21	Incongruent Transformation	Verandah with steel trussed roofing added, Stone masonry painted with oil paint		
3.22	Overall Maintenance Status	Good, Minor repairs needed.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Rameshwar Mandir Premises on the West.
4.02	Overall Problems & Threats	Addition of tin shed for social functions. Such additions may grow and consolidate over time affecting the integrity of the temple. Also, any incongruent additions in the open area around will adversely affect the integrity of the precinct.
4.03	Additional Notes	Rameshwar temple is part of a precinct proposed for protection as 'Tipecha Maruti Precinct'. It is recommended that any conservation action for the temple takes into account the significance of the entire precinct demarkated by the streets and steps around.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Pujari at the temple

Images



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: Stone Bracket inside the temple



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: Timber Mandap inside the temple



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: View of the internal stairs



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Old picture of the Rameshwar Temple as displayed in the temple



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Outside view of the Girbhagriha



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: View of the window of the Girbhagriha



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Flooring inside the temple



Image Title: Rameshwar Mandir
Image Type: Side-View1
Reference: View of the Rameshwar Temple



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Dieties inside the temple



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: Outer view of the girbhagriha



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: Junction of the stone temple and Wooden mandap



Image Title: Rameshwar Mandir
Image Type: Side-View2
Reference: View of the Rameshwar Temple

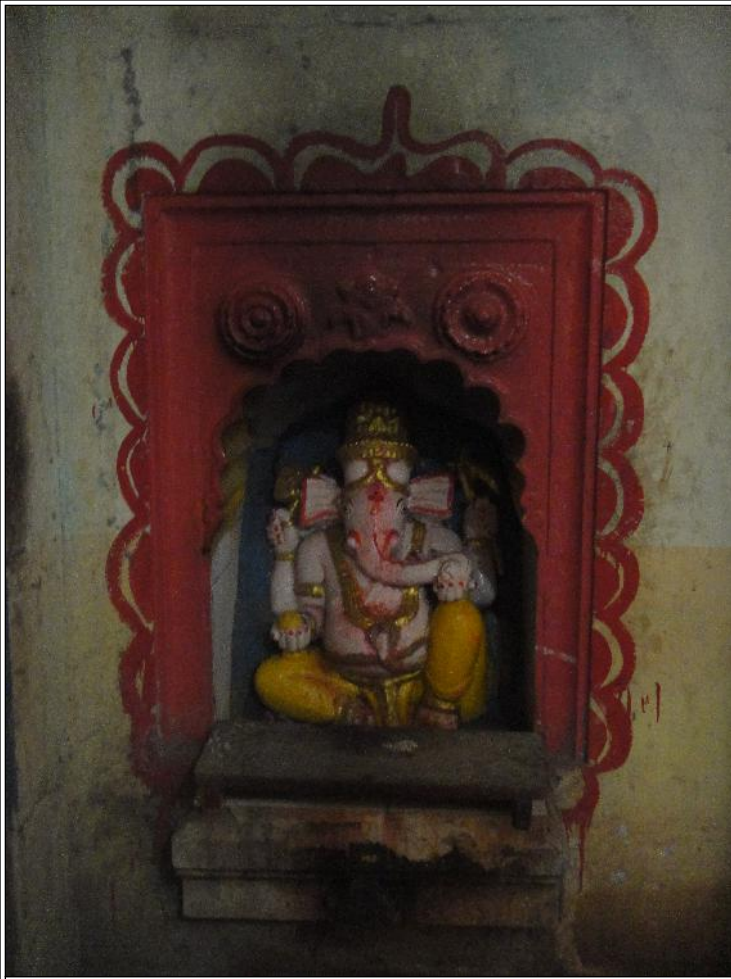


Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Dieties inside the temple



Image Title: Rameshwar Temple
Image Type: Front-View
Reference: View of the stairs



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Timber Mandap inside the temple



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Dieties in the Rameshwar Temple



Image Title: Rameshwar Mandir
Image Type: Front-View
Reference: Small Spires of the Rameshwar Temple under the sloping roof



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: Roof Dome of the temple



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: Internal addition of roof to the temple



Image Title: Rameshwar Mandir
Image Type: Top-View
Reference: Ceiling of the Rameshwar Mandir Mandap



Image Title: Rameshwar Mandir

Image Type: Top-View

Reference: View of the outside tin shade

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Mahakali Mandir

BASIC DETAIL

1.1	Premise Name	Mahakali Mandir
1.2	District	Raigad
	Tehshil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Mahakali Mandir
1.03	Internal Reference Number	
1.04	CS No	1545
1.05	Street Name 1	End of Kasar Aali
1.06	Street Name 2	Kasar Aali,
1.07	Area / Locality	
1.08	Nearby landmark if any	Rameshwar Mandir, Pen
1.09	Pin Code	402107
1.10	Current Owner	Shree Mahakali Devasthan Panch Mr. Dwarkanath
1.11	Type of Owner	Private
1.12	Type of Occupancy	Mandir
1.13	Current Use	Religious
1.14	Type of Use	Amenity
1.15	Age	More than 100 years though deity might be older
1.16	Plot Area (sq.mt)	267.6 Sq. Mtr.
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	IIA
1.20	Brief Detail	Community Mandir of the Twastha Kasar community living around the Mandir. Architectural typological significance for the region.
1.21	Date of Recording	2010-03-26

HISTORICAL DETAIL

2.01	Built in	Most structure built in late 19th century though original temple may be older
2.02	Extensions/ Modifications in	no major modification
2.03	Extensions/ Modifications Details	NA
2.04	Earlier Name(s)	Same as current
2.05	Earlier Use(s)	Same as current ie Religious

2.06	Historical Significance	The Mandir belongs to the once prosperous Kasar community who specialized in the copper craft Mahakali is the community Goddess and one finds a Mahakali Mandir wherever there is a sizable Kasar community. The size of the Mandir and its appointment indicates that the community was quite prominent in the town and prosperous as well. There is a piece of an older stone shrine just outside the Mandir which may or may not belong to the Mandir.
2.07	Cultural Significance	Mahakali is the diety of the Kasar community and one finds a Mahakali Mandir in many towns having a sizable Kasar community. It is also the meeting place of the community for many activities and on many occasions thereby serving its purpose as a community hall.
2.08	Architectural Significance	There are a few basic types of Mandir in the Kokan region of which this Mandir belongs to a type that is enclosed in a room like Mandap with double height with a gallery running around it. Its external appearance is like a domestic building especially so due to its hipped roof sans a spire usually associated with a Mandir.
2.09	Townscape Significance	It indicates the presence of the houses of the Kasar community in the vicinity.
2.10	Other Significance	It is a part of a much larger Mandir complex largely called the Tipecha Maruti Complex. It also has an octagonal well in its front yard that is still full with water. It provides a setting for many social and cultural events in the town and is a part of the towns life and memory.
2.11	Value Classification	A(arc),A(his),A(cul)
2.12	Recommended Grade	IIA

PHYSICAL CHARACTERISTICS

3.01	Height	@27 feet till ridge		
3.02	No. of Floors	Ground + 1 Gallery		
		Description	Problem/Threat	Condition
3.03	Structural System	Timber Frame Loadbearing walls	Timber columns have decayed especially of the outer walls at their bases. Beams also show signs of decay and cracking.	Minor Repair
3.04	Plinth	Basalt articulated and dressed	None	Good
3.05	Walls	Timber columns with plastered brick walls	Cracks, buckling of timber members. Flaking and discoloration of plaster	Minor Repair
3.06	Floors	Timber gallery around double height Sabhamandap	Splitting of planks at few places	Good
3.07	Stairs	Timber	None	Good
3.08	Openings	Timber frames with timber panel shutters. iron hardware and verticle iron round bars for grills. Main door made of timber planks strengthened with timber edges and horizontal members	Window shutters at few places have lost alignment due to weakening of hinges	Minor Repair
3.09	Roof	Mangalore tiles over timber rafters	None	Good
3.10	Articulation	Minimal, Cornice expressed in Timber member, end of timber beams carved and profiled as brackets. Door frame of temple and sanctum sanctorum richly carved in a floral and geometric pattern.	Cornice planks dislodged and decayed	Minor Repair
3.11	Finishes	Plastered painted walls. Painted timber elements. Black and white chequered square tiled flooring of kadappa and tandoor stone for Sabhamandap. Polished timber railings in Sabhamandap	Discoloration and flaking of paint.	Minor Repair
3.12	Furniture	Good light fixtures of brass and glass hung from the ceiling	Good	Good
3.13	Compound/Fence/Gate	Brick Compound wall with MS Gate added later	NA	Good
3.14	Curtilage / unbuilt / space /out buildings / landscape	Remains of old temple (Stone Column Capitals)	broken	Ruin

3.15	Lighting	Natural through openings. Front of the temple is completely open on the ground floor with only vertical iron bars for grill. Tubelights used now for artificial lighting but the temple still retains "handis" or lamp shades of glass hung from the ceiling with brass bars.	Wiring through casing capping added later	Minor Repair
3.16	Ventilation	Natural through openings. Double height Sabhamandap helps in creating a wind draft.	none	Good
3.17	Electricity	Introduced later	haphazard	Minor Repair
3.18	Water Supply	No piped water within the temple. Well in the front yard looks rarely used now	none	Good
3.19	Plumbing & Drainage	nil. Except the drain of the water used for rituals related to the diety	NA	Good
3.20	Other(Fire protection, HVAC, Security etc)	not provided	NA	-
3.21	Incongruent Transformation	No major incongruent transformations seen except for random choice of colours used to paint the walls and timber. There is a paving of ceramic tiles just outside the Mandir which is definitely better removed.		
3.22	Overall Maintenance Status	Looks well maintained though some repairs are wanting and welcome if they come soon. but the Mandir is in active use and the community has tried to keep it well as per their resources.		
3.23	Overall Condition	Minor Repair		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential The street abuts the Mahakali Mandir Premises on the West.
4.02	Overall Problems & Threats	Renovation of Mandir by completely demolishing the new ones is a trend that is common nowadays. this activity is perceived by the general public as "improvement" in condition when it actually is worse than the original it replaces in terms of design, finishes, aesthetic appeal, contextual response, symbolism and functional quality. Renovation or "Jeernoddhar" of this kind is therefore the biggest threat.
4.03	Additional Notes	Jeernodhar or Renovation attempts through wall meaning should be scrutinised for keeping the integrity and character of the original temple intact.
4.04	References	
	Books/Documents	Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,
	WebSites	NA
	Persons	Pujari, Residents in Kasar Aali.

Images



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: Street view of the temple



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: Painting inside the temple



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: Wooden Carvings



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: View of the sanctum sanctorum



Image Title: Mahakali Mandir
Image Type: Side-View1
Reference: Street view of the temple



Image Title: Mahakali Mandir
Image Type: Side-View2
Reference: Main entrance



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: Deteriorating Wood work



Image Title: Mahakali Mandir
Image Type: Top-View
Reference: Ceiling inside the temple



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: Wooden Carvings



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: Deteriorating Wood work



Image Title: Mahakali Mandir
Image Type: Front-View
Reference: Street view of the temple



Image Title: Mahakali Mandir
Image Type: Old Document
Reference: Street view of the temple



Image Title: Mahakali Mandir

Image Type: Top-View

Reference: Detail of timber bracket inside mandap

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Ganpati Idol Karkhana Lane

BASIC DETAIL

1.1	Premise Name	Ganpati Idol Karkhana Lane
1.2	District	Raigad
	Tehsil	Raigad
	City	Pen
	Ward	04
	Village	Pen
	Identification	Ganpati Idol Karkhana Lane
1.03	Internal Reference Number	
1.04	CS No	
1.05	Street Name 1	
1.06	Street Name 2	
1.07	Area / Locality	Ziral Aali,
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Local Govt.
1.11	Type of Owner	Local Govt.
1.12	Type of Occupancy	Local Govt.
1.13	Current Use	To make Ganpati Idols as well as for pedestrian and vehicular traffic
1.14	Type of Use	Mixed
1.15	Age	NA
1.16	Plot Area (sq.mt)	NA
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Minor Repair
1.19	Grade	Precinct
1.20	Brief Detail	This lane is dominated by the houses of the families of Twasta Kasar community who have been practicing the craft of Ganpati idol making for more than a century. The houses are intermixed with workshops and the activity goes on year-round. This activity has given Pen a place and an identity in the cultural map of Maharashtra.
1.21	Date of Recording	2010-03-28

HISTORICAL DETAIL

2.01	Built in	NA
2.02	Extensions/ Modifications in	None
2.03	Extensions/ Modifications Details	NA
2.04	Earlier Name(s)	NA

2.05	Earlier Use(s)	NA
2.06	Historical Significance	Tradition that has survived and strengthened through time
2.07	Cultural Significance	A traditional craft of Pen
2.08	Architectural Significance	NA
2.09	Townscape Significance	A traditional craft of Pen. Majority of the households living on this lane are engaged in the idol making activity. The activity goes year round and Ganpati idols are stored not only inside buildings but outside on the roofs, balconies, verandahs and streets as well. This gives the street a very distinct look. Historically, the lane is significant since it shows a profession wise organisation of the town at that time.
2.10	Other Significance	A cohesive community of craftsmen (Twashta Kasar Community) engaged in production of Ganpati idols
2.11	Value Classification	A(cul, A(his), Town, Other
2.12	Recommended Grade	Precinct

PHYSICAL CHARACTERISTICS

3.01	Height	max @35 feet		
3.02	No. of Floors	Ground + 1 Upper		
		Description	Problem/Threat	Condition
3.03	Structural System	Old structures are load bearing while new construction is an RCC frame structure with brick infill walls	NA	-
3.04	Plinth	NA	NA	-
3.05	Walls	NA	NA	-
3.06	Floors	Old structures are G or G+1 but new ones rise to G+2 floors	NA	-
3.07	Stairs	NA	NA	-
3.08	Openings	NA	NA	-
3.09	Roof	NA	NA	-
3.10	Articulation	Very simple and mundane buildings but the character of the area is due to the Ganpati idols placed all over the place	NA	-
3.11	Finishes	NA	NA	-
3.12	Furniture	NA	NA	-
3.13	Compound/Fence/Gate	Buildings abut each other and the street. There is no compound wall between the houses or the street	NA	-
3.14	Curtilage / unbuilt / space /out buildings / landscape	Small lanes, courts and terraces form the unbuilt space. At many places, this space is occupied by the idols.	NA	-
3.15	Lighting	NA	NA	-
3.16	Ventilation	Lighting and ventilation are inadequate in some workshop spaces.	NA	-
3.17	Electricity	Very basic electrification sometimes fraught with risks.	NA	-
3.18	Water Supply	Municipal supply	NA	-
3.19	Plumbing & Drainage	Septic tanks	NA	-
3.20	Other(Fire protection, HVAC, Security etc)	Not provided.	NA	-
3.21	Incongruent Transformation	The original built character of the lane has been lost due to many buildings being demolished and rebuilt as new three storied RCC frame structures having little in common with the visual grammar of the original vernacular architecture. Also, the few surviving old houses have undergone modifications to a varying degree. The presence of the Ganpati idols throughout the lane in large numbers is the only unifying element.		

3.22	Overall Maintenance Status	Average. Old buildings need repair and maintenance. New ones are not well finished.
3.23	Overall Condition	Minor Repair

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential, The street abuts the Ganpati Idols Karkhana Lane Premises on the East and West.
4.02	Overall Problems & Threats	The buildings may be lost due to redevelopment and be sold to new occupants other than those belonging to the community or those not pursuing the trade. This in long term will eradicate the activity of idol making from this place and thereby the character and identity of the town.
4.03	Additional Notes	The activity and the community rather than the physical building needs protection.
4.04	References	
	Books/Documents	Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture, Cardiff. Harvande Geeta, Pen, Granthali Dnyanyagnya, Mumbai, 2006. Joshi Shankar Narayan, Marathi rajwatit
	WebSites	NA
	Persons	Various resident craftsmen and their family members

Images



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: Homes converted to Ganpati making workshops



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: General view of the lane of the Ganpati makers workshop



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: Various parts of the idols kept for drying

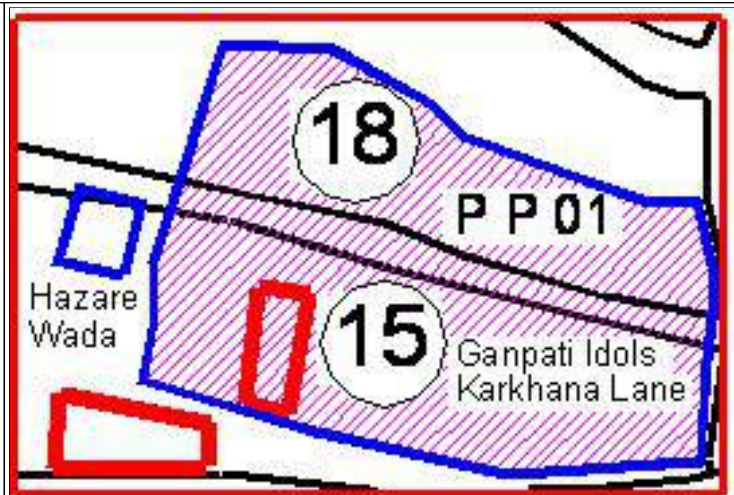


Image Title: Ganpati Idol Karkhana Lane
Image Type: Topographic-Map
Reference: Location map



Image Title: Ganpati Idol Karkhana Lane

Image Type: Front-View

Reference: Old houses now buildings and modest sheds all are used as workshops spaces



Image Title: Ganpati Idol Karkhana Lane

Image Type: Front-View

Reference: General view of the workshop lane



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: Extension of the workshops on the street



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: Other items sculptured by the Ganpati Idol makers



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: Close up of the Ganpati idols in process



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: Idols lined up for drying



Image Title: Ganpati Idol Karkhana Lane
Image Type: Front-View
Reference: An artist at work

MUMBAI METROPOLITAN REGION HERITAGE CONSERVATION SOCIETY

Record Details for Tipecha Maruti precinct

BASIC DETAIL

1.1	Premise Name	Tipecha Maruti precinct
1.2	District	Raigad
	Tehshil	Raigad
	City	pen
	Ward	04
	Village	pen
	Identification	Tipecha Maruti Precinct
1.03	Internal Reference Number	
1.04	CS No	1545 1546 1549
1.05	Street Name 1	Deodhar Path
1.06	Street Name 2	Kasar Aali
1.07	Area / Locality	Mahakali Mandir
1.08	Nearby landmark if any	Pen
1.09	Pin Code	402107
1.10	Current Owner	Panch Committee
1.11	Type of Owner	Trust
1.12	Type of Occupancy	Mandir
1.13	Current Use	Religious
1.14	Type of Use	Amenity
1.15	Age	NA
1.16	Plot Area (sq.mt)	NA
1.17	Built Up Area (sq.mt)	NA
1.18	Condition of building	Good
1.19	Grade	Precinct
1.20	Brief Detail	Community Mandir of the Twastha Kasar community living around the Mandir. Architectural typological significance for the region. Old Mandir incrementally grown over time showing characteristics of each period. Part of Tipecha Maruti precinct. Displays a stone inscription of antiquity on its plinth. Lithographs of Raja Ravi Verma's paintings adorn the Mandap (hall). Origins of the idol supposed to be tracable to Saint Ramdas. Variation on the typical Maruti Mandir in the region. Part of larger Mandir precinct.
1.21	Date of Recording	2010-08-24

HISTORICAL DETAIL

2.01	Built in	Developed over a period of 350 years Changes happened all throughout the long period mentioned above but nevertheless the entire precinct has a coherent character. Most structure built in late 19th century though original temple may be older
------	-----------------	---

2.02	Extensions/ Modifications in	Changes happened all throughout the long period mentioned above
2.03	Extensions/ Modifications Details	A few examples would be addition to the Rameshwar Temple, additions to the maruti temple, introduction of steps from chawadinaka to maruti temple etc.
2.04	Earlier Name(s)	Tipecha Maruti Precinct
2.05	Earlier Use(s)	Temple + Open Space + Community well.
2.06	Historical Significance	The temple precinct seems to be the chief temple resemble of the town developed over a period of 350 years and still continuing in use. The Mandir belongs to the once prosperous Kasar community who specialized in the copper craft Mahakali is the community Goddess and one finds a Mahakali Mandir wherever there is a sizable Kasar community. The size of the Mandir and its appointment indicates that the community was quite prominent in the town and prosperous as well. There is a piece of an older stone shrine just outside the Mandir which may or may not belong to the Mandir.
2.07	Cultural Significance	Temple complex with large open space for festivities and cultural celebrations otherwise used as a play area and a passive recreational area. Mahakali is the diety of the Kasar community and one finds a Mahakali Mandir in many towns having a sizable Kasar community. It is also the meeting place of the community for many activities and on many occasions thereby serving its purpose as a community hall.
2.08	Architectural Significance	Coherent character despite incremental development of the precinct for 3 Centuries a goodmix of vernacular of classical traditions building. There are a few basic types of Mandir in the Kokan region of which this Mandir belongs to a type that is enclosed in a room like Mandap with double height with a gallery running around it. Its external appearance is like a domestic building especially so due to its hipped roof sans a spire usually associated with a Mandir.
2.09	Townscape Significance	Important Landmark. It indicates the presence of the houses of the Kasar community in the vicinity.
2.10	Other Significance	Important urban open space of cultural venue. The campus has an octagonal stone masonry well. There are a couple of mature trees that have religious significance. The main shrine is older and therefore more significant as compared to the later additions. It is a part of a much larger Mandir complex largely called the Tipecha Maruti Complex. It also has an octagonal well in its front yard that is still full with water. It provides a setting for many social and cultural events in the town and is a part of the towns life and memory.
2.11	Value Classification	A(arc),A(his),H(tec)
2.12	Recommended Grade	Precinct

PHYSICAL CHARACTERISTICS

3.01	Height	NA		
3.02	No. of Floors	NA		
		Description	Problem/Threat	Condition
3.03	Structural System	Mostly Composite Structure Stone load bearing for the main shrine and wooden frame for the mandap part Timber frame loadbearing walls	uneven settlements Timber columns have decayed especially of the outer walls at their bases, beams also show signs of decay and cracking	Good
3.04	Plinth	Basalt fine dressed Ashlar Masonry	Signs of settlement	Major Repair
3.05	Walls	Dressed stone for Garbha Griha and plastered bricks walls for sabhamandap with timber columns Timber columns with plastered brick walls	Cracks, buckling of timber members, flaking and discoloration of plaster	Minor Repair
3.06	Floors	Ground floor with diamond pattern stone flooring. Timber joists beams with stone tiles on top at sabhamandap Balcony.	Cracks buckling of timber members Splitting of planks at few places	Minor Repair
3.07	Stairs	Timber Doglegged	No major problems	Good
3.08	Openings	Stone Jali for Girbhagriha, tall wooden openings withround iron bar grill for sabhamandap clear story light to mandap	No major problems	Good

3.09	Roof	Brick Shikhara with lime stucco work over stone dome with squinches for Garbhagriha, wooden rafter, covered with Mangalore tiles for Sabhamandap	Stress in some timber members	Minor Repair
3.10	Articulation	Stone temple plain exterior with a distinct plinth, spire with stellate plan and short pinnacles stylistically similar to Bijapuri Guldasta Pinnacles restrained articulation of the door frame. Mandap: Cusped Arches in wood. Low balusters surrounding the central portion of the mandap defining the seating / main usable area. False ceiling of timber planks with a carved central motif.	Paint over stone masonry may harm the structure	-
3.11	Finishes	Stone structure now painted. Sabhamandap plastered and painted. Diamond Pattern Flooring in the Mandap.	No major problems	Good
3.12	Furniture	Lithographs of Raja Ravi Verma's paintings adorn the Mandap. There are old light fixtures (Handi) in the Sabhamandap.	The prints as well as the light fixtures are not cared for	Minor Repair
3.13	Compound/Fence/Gate	Open space around Part of the open space on one side covered with a tin roof	NA	-
3.14	Curtilage / unbuilt / space / out buildings / landscape	Large open space between the three temples. An octagonal well built in dressed stone on one side of the open space	Incongruent addition	-
3.15	Lighting	Municipal lamp posts. Natural through openings. Front of the temple is completely open on the ground floor with only vertical iron bars for grill. Tubelights used now for artificial lighting but the temple still retains "handis" or lamp shades of glass hung from the ceiling with brass bars.	No major problems Wiring through casing capping added later	Minor Repair
3.16	Ventilation	Natural through openings Natural through openings. Double height Sabhamandap helps in creating a wind draft.	No major problems	Minor Repair
3.17	Electricity	Introduced later Provided	NA	-
3.18	Water Supply	Well, The water connection in the temple is not within the temple but for the space adjacent to it. There is also a well next to the temple	No major problems	Minor Repair
3.19	Plumbing & Drainage	nil. Except the drain of the water used for rituals related to the deity Yes	Water seepage from the tin covered area may be problematic.	-
3.20	Other(Fire protection, HVAC, Security etc)	Not provided	Not provided	-
3.21	Incongruent Transformation	Tin Shed of the Maruti temple paving at a few places.		
3.22	Overall Maintenance Status	Not maintained as an open space but individual temples are well maintained.		
3.23	Overall Condition	Good		

RELEVANT DETAILS

4.01	D P Remarks	Landuse - Residential. The street abuts the Titecha Maruti Mandir Premises on the West.
4.02	Overall Problems & Threats	Encroachment and incongruent additions. Renovation of Mandir by completely demolishing the new ones is a trend that is common nowadays. This activity is perceived by the general public as "improvement" in condition when it actually is worse than the original it replaces in terms of design, finishes, aesthetic appeal, contextual response, symbolism and functional quality. Renovation or "Jeernodhar" of this kind is therefore the biggest threat.
4.03	Additional Notes	An important feature of the town, it should be guarded as a multipurpose public open space that is scarcely seen in modern development. Jeernodhar or Renovation attempts through wall meaning should be scrutinised for keeping the integrity and character of the original temple intact.
4.04	References	

	Books/Documents	<p>Pen Shaharacha Itihaas, Pen Nagarparishad Amrut Mahotsav smaranika, shri vithal sansthan, Dahivali, 1990. Apte B.K. A history of the Marathi Navy and Merchantships, State Board for literature and culture, Bombay, 1973. Avalaskar Shantaram, Angrekalin Ashtagar, BISM, Pune, 1947. Dabu D G Kulabkar Angre Sarkhel. Datar Shridhar Hari. Datar Kulvrittanta, Pune 1974. Gupta Rupa Raje, The wada of Maharashtra an Indian courtyard house form. Unpublished Ph.D. thesis, Welsh school of Architecture,</p>
	WebSites	
	Persons	Pujari, Residents in Kasar Ali, Mr. Bairagi - Ex-journalist, Pen

Images



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Original shrine of Tipecha Maruti



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Octagonal well of Tipecha Maruti Temple



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: View of old tree inside Tipecha Maruti precinct



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: View of old tree inside the temple



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Octagonal well of in front of Mahakali Temple



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Relief panels on the spandrel

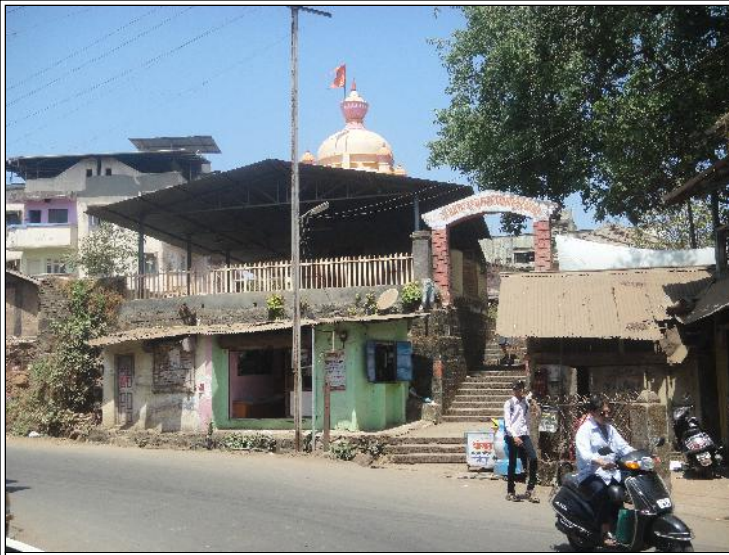


Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Entry to Tipecha Maruti



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Steps leading to open space adjoining Tipecha Maruti



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: View of Mahakali Temple



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: View of Rameshwar Temple



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Entry to Tipecha Maruti



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Plaque of Dedication of the steps leading to Tipecha Maruti



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Relief panels on the spandrel



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: Octagonal well of Tipecha Maruti temple



Image Title: Tipecha maruti precinct
Image Type: Front-View
Reference: View of old tree inside the precinct